

MEMORANDUM

Planning Department



Date: February 8, 2024
To: Zoning Administrator
From: Lillian VanHua, Senior Planner

Subject: **NEW DETACHED ACCESSORY DWELLING UNIT – 1392 N HILLVIEW DR - P-MS23-0139** – A Minor Site Development Permit to develop a 1,200 square-foot, two-story, detached Accessory Dwelling Unit, up to 21 feet, 6 inches in height, behind an existing two-story, single-family dwelling on a 0.15-acre site in the R1-6 Single-Family Residential Zoning District. The project is categorically exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Construction or Conversion of Small Structures), and, as a separate and independent basis, Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning).

Location: 1392 N Hillview Drive (APN: 026-23-004)

Zoning/GP: Single-Family Residential (R1-6) / Low Density Residential (LDR)

Project Overview:

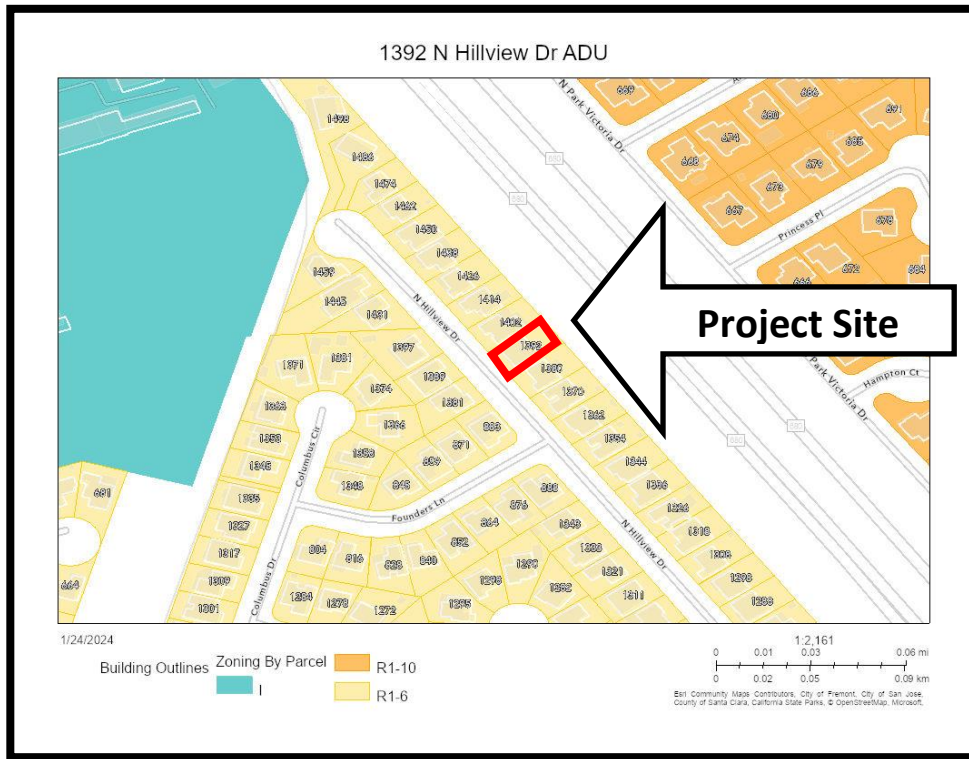
On June 29, 2023, Harrison Nguyen (on behalf of the property owner) submitted a Minor Site Development (MSD) Permit application to develop a two-story, 1,200 square-foot detached Accessory Dwelling Unit (ADU) within the rear yard of the 0.15-acre site. No other improvements are proposed for the existing 2,118 square-foot, two-story, single-family home at this time or within this application.

The proposed ADU will feature 600 square feet of living space on the first and second floors, and a height of approximately 21 feet, six inches. Per Milpitas Municipal Code (MMC) Table XI-10-57.03(C)(2)(c), ADUs over 1,000 square feet in size and over 20 feet in height are subject to Zoning Administrator approval through the MSD permit process.

The Project site is surrounded by residential uses to the north, south, and west, and abuts the Interstate 680 freeway to the east, as demonstrated in Map 1: Project Zoning and Map 2: Aerial View.



Map 1: Project Zoning



Map 2: Aerial View

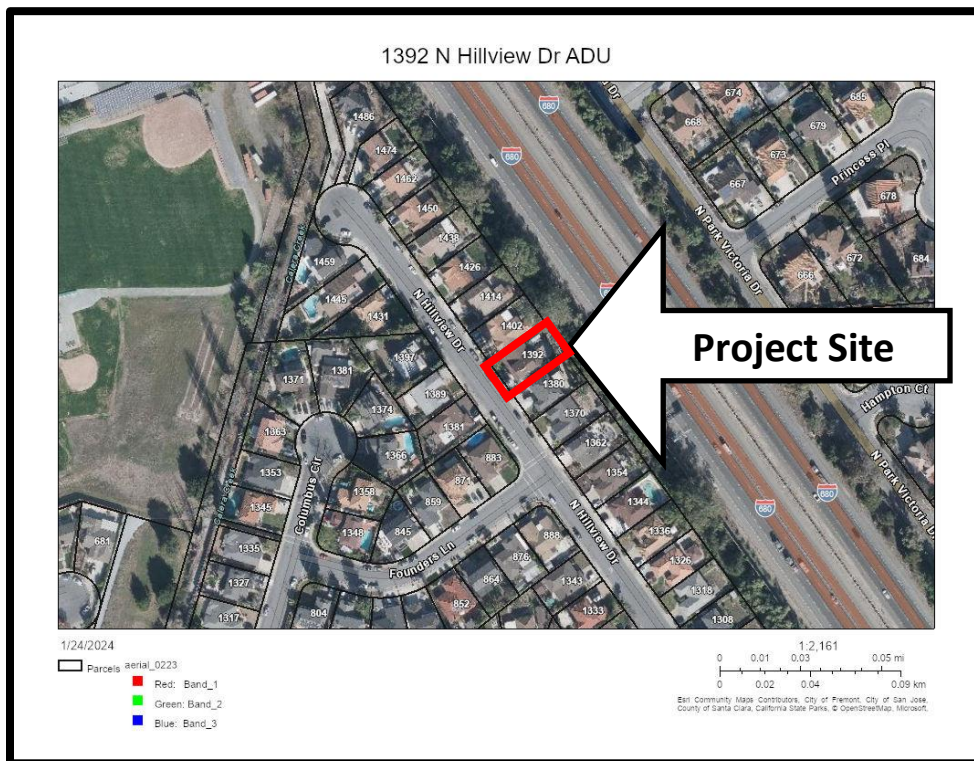


Table 1: Surrounding Zoning and Land Uses

	General Plan	Zone	Uses
Subject Site	Low Density Residential (LDR)	Single Family Residential (R1-6)	Single-Family Residential
North	Low Density Residential (LDR)	Single Family Residential (R1-6)	Single-Family Residential
South	Low Density Residential (LDR)	Single Family Residential (R1-6)	Single-Family Residential
East	----	----	Interstate 680
West	Low Density Residential (LDR)	Single Family Residential (R1-6)	Single-Family Residential

Zoning Conformance

The project site is in the Single Family Residential (R1-6) Zoning District and complies with most of the development standards of MMC Sec. XI-10-13.08 (Accessory Dwelling Units) as shown in Table 2. Since the proposed ADU is 1,200 square feet and 21 feet, 6 inches in height, the project requires Zoning Administrator review per MMC Sec. XI-10-13.08(l).

Table 2: Detached ADU Development Standards

Standards	Required/Maximum	Proposed	Complies
Front Setback	20 feet	Approximately 85 feet	Yes
Side Yard Setback	4 feet	5 feet	Yes
Rear Yard Setback	4 feet	5 feet	Yes
Setback to Other Structures	6 feet	6 feet	Yes
Building Height	16 feet, up to 20 feet*	21 feet, 6 inches	No**
Building Size	1,000	1,200	No**
*	Building height allowed up to 18 feet if located within one-half mile walking distance of a major transit stop or a high-quality transit corridor; and allowed up to 20 feet if needed to accommodate a roof pitch on the ADU to match existing dwelling		
**	Requires Zoning Administrator approval		

Colors and Materials

The proposed ADU will feature a three coats of 7/8-inch white stucco on the exterior and brown tile roof to match the existing single-family dwelling. The existing single-family dwelling, along with others within the vicinity, are currently two-story structures, which is consistent with the proposed detached two-story ADU. In order to preserve the privacy of the property and neighboring properties, no windows are proposed along the rear elevation and frosted glass windows will be installed on the front and side elevations. *Figures 2 and 3* show the proposed floor plan, and *Figures 4, 5, 6, and 7* show the proposed elevations.

Figure 2: Floor Plan (First Floor)

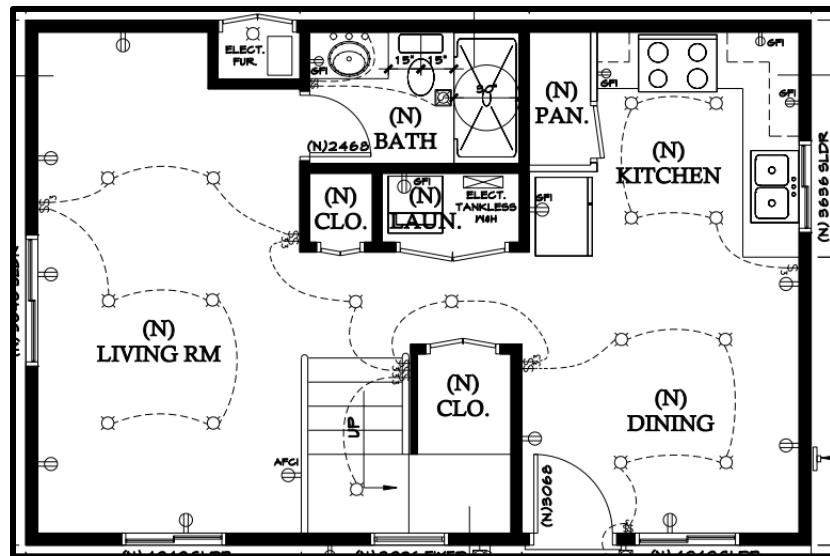


Figure 3: Floor Plan (Second Floor)

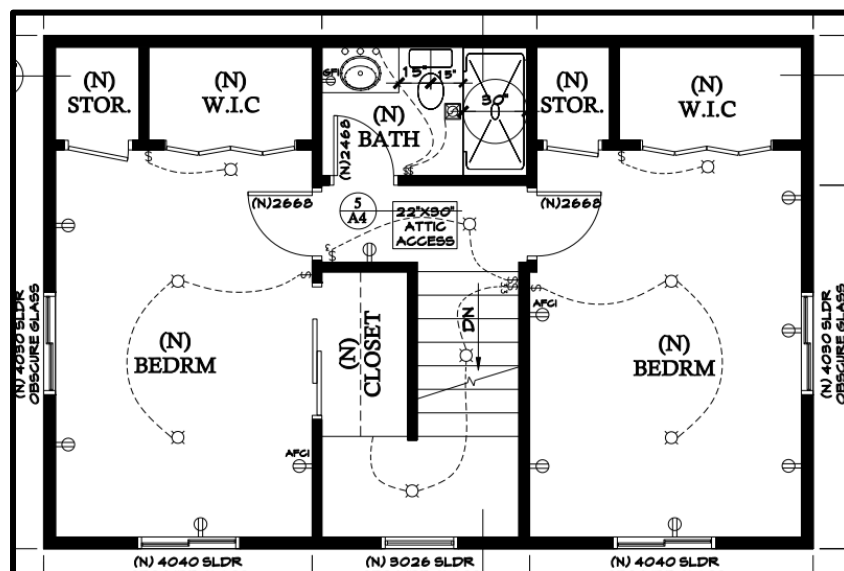


Figure 4: Front Elevation

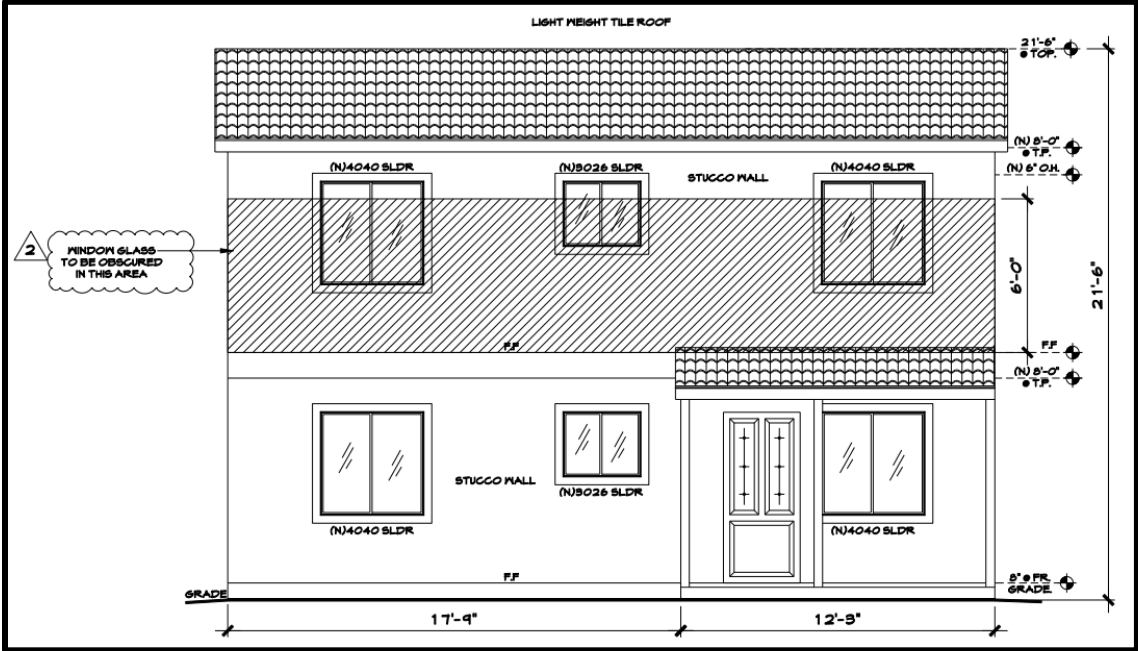


Figure 5: Rear Elevation

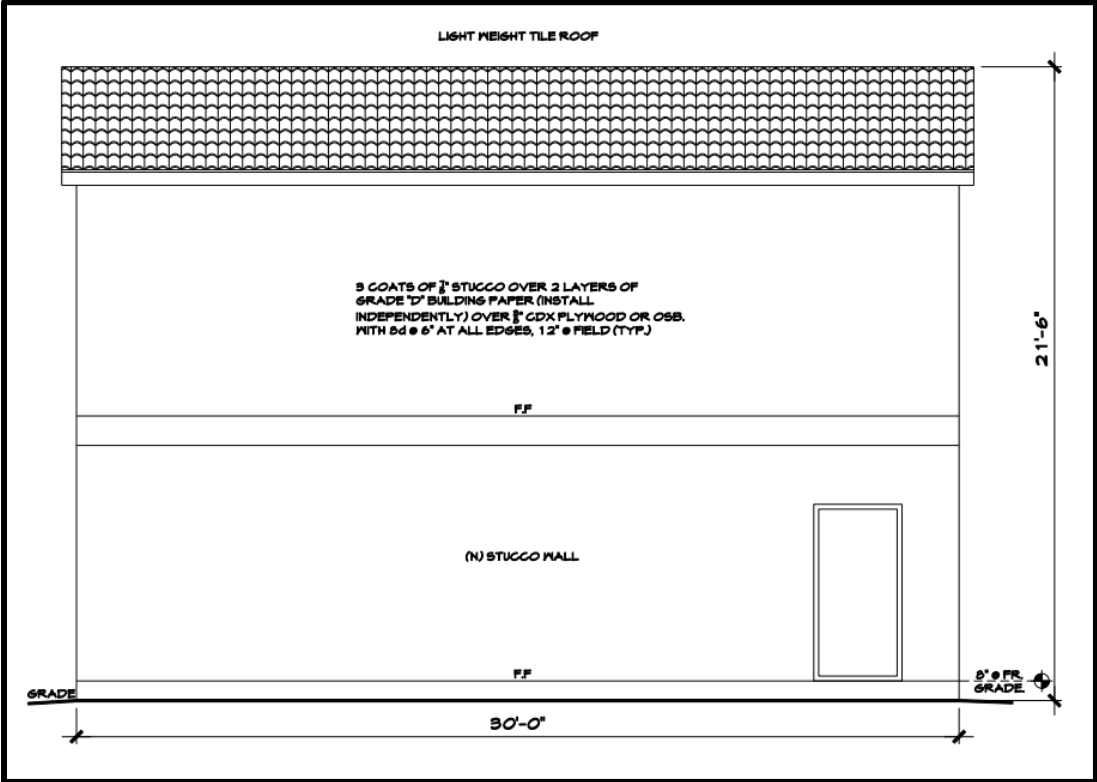


Figure 6: Left Elevation

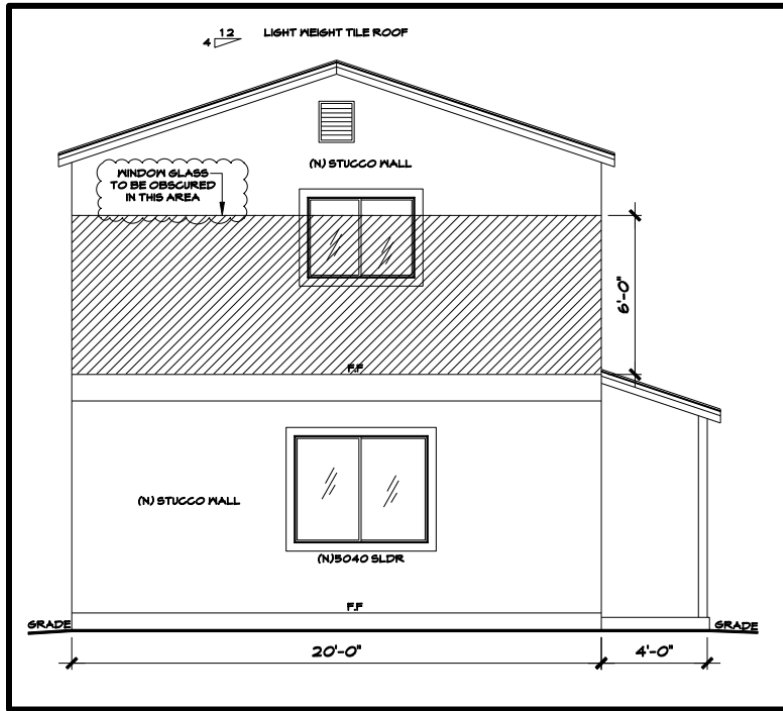
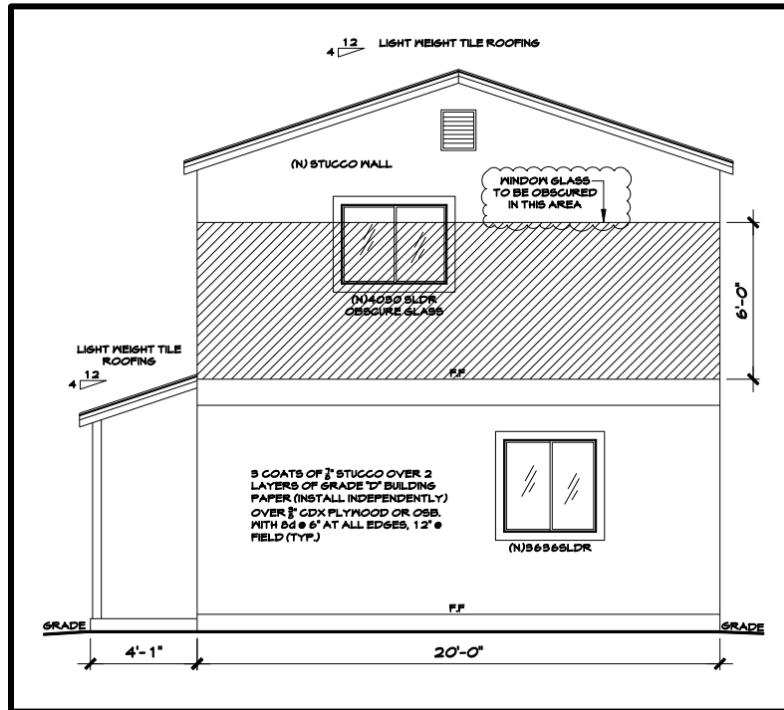


Figure 7: Right Elevation



Parking

No additional parking is required for the ADU because the project site is within one-half mile walking distance of public transit, as permitted per MMC Section XI-10-13.08(F)(7)(a)(i). However, the applicant has proposed a dedicated spot for the ADU on the driveway.

Landscaping

The applicant proposes to install vertical screening evergreen landscaping between the ADU and the two nearest residences to the north and south. The final plant specimens will be selected during the building permit process and pursuant to Condition of Approval no. 16, the installation will be confirmed during the final Building Permit inspection. The new landscaping will help provide additional privacy by creating a landscaped buffer between the residences. No trees need to be removed to develop this project.

Zoning Conformance

As proposed, the project and associated use are consistent with the purpose and intent of the Single Family Residential (R1-6) zoning district, which is intended to *“stabilize and protect the residential characteristics of the District and to promote and encourage a suitable environment for family life. The R1 District is intended for the suburban family home and the services appurtenant thereto,”* per MMC Sec. XI-10-4.01.

Findings for Approval:

In accordance with Section XI-10-57.03(G) of the Milpitas Municipal Code, the Zoning Administrator may consider and approve a Minor Site Development if the required findings can be made. Findings shall identify the rationale behind the decision to take a certain action and are analyzed below:

- 1. The development recognizes and respects the nature of the neighborhood and site, development patterns, materials used, and the expectations of those who will see and use the building;*

The project is minimally visible to vehicles and pedestrians from the public right-of-way. The ADU has a proposed building height of 21 feet, 6 inches below the maximum height allowed within the R1-6 Zoning District. The nearby residential dwelling structures (1438, 1426, 1414, 1380, 1389, and 1397 N. Hillview Drive) are two-stories. As such, the two-story ADU is designed to be consistent with the main dwelling and other nearby residential structures. The ADU will be painted white to match the existing main dwelling.

- 2. The development assures that modifications satisfy functional requirements, and are screened with appropriate compatible materials; and*

The proposed two-story ADU was sited behind the existing two-story home, shielded with landscaping, and designed to maximize space and functionality. The ADU will complement the neighborhood character as its building materials will match the existing dwelling. Furthermore, the project would not require additional parking

spaces, so the subject site would still meet and exceed minimum parking requirements.

3. *The development assures that the modifications will not interfere with the privacy, quiet enjoyment or view of the surrounding properties.*

The proposed two-story (ADU) is located within the rear yard of the site, but will be surrounded by vertical screening evergreen landscaping in order to provide a buffer between nearby residences. In addition, the Project will provide frosted windows on the second floor of the structure to not interfere with the privacy of the surrounding properties. Moreover, the property also abuts Interstate 680 freeway along the eastern property line. Therefore, the project will not interfere with the privacy, quiet enjoyment or view of the surrounding properties.

California Environmental Quality Act (CEQA):

The project is categorically exempt from further environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (Construction or Conversion of Small Structures). As proposed, the project is a second dwelling unit within an urban residential zoning district. As a separate and independent basis, the project is also exempt from further environmental review pursuant to CEQA Guidelines Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning). The project is generally consistent with the City's existing zoning and general plan.

Recommendation:

STAFF RECOMMENDS THAT the Zoning Administrator approve P-MS23-0139 to allow the development of a 1,200 square-foot Accessory Dwelling Unit (ADU) behind an existing two-story single-family dwelling on an 0.15-acre site in the R1-6 Single Family Residential Zoning District located at 1392 N Hillview Dr., subject to the findings outlined in this report and the attached Conditions of Approval.

Attachments:

- A. Conditions of Approval*
- B. Project Plans*

CONDITIONS OF APPROVAL:

1. General Compliance. The applicant, including all successors in interest (collectively "Permittee") shall comply with each and every condition set forth in this Permit. This **Minor Site Development Permit No. MS23-0139** ("Permit") shall have no force or effect and no building permit shall be issued unless and until all things required by the below-enumerated precedent conditions have been performed or caused to be performed. **(P)**
2. Effective Date. Unless there is a timely appeal filed in accordance with the Milpitas Zoning Code, the date of approval of this Permit is the date on which the decision-making body approved this Permit. **(P)**
3. Acceptance of Permit. Should Permittee fail to file a timely appeal within twelve (12) calendar days of the date of approval of this Permit, inaction by Permittee shall be deemed to constitute each of the following: **(P)**
 - i. Acceptance of this Permit by Permittee; and
 - ii. Agreement by the Permittee to be bound by, comply with, and to do all things required of or by Permittee pursuant to all of the terms, obligations, and conditions of this Permit.
4. Permit Expiration. Pursuant to Section XI-10-64-06 of the Milpitas Zoning Code, this Permit shall become null and void if the activity permitted by this Permit is not commenced within two (2) years from the date of approval, or for a project submitted with a tentative map, within the time limits of the approved tentative map. Pursuant to Section XI-10-64.06(B) of the Milpitas Zoning Code, an activity permitted by this Permit shall be deemed to have commenced when the project: **(P)**
 - i. Completes a foundation associated with the project; or
 - ii. Dedicates any land or easement as required from the zoning action; or
 - iii. Complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.
5. Time Extension. Pursuant to Section XI-10-64.07 of the Milpitas Zoning Code, unless otherwise provided by State law, Permittee shall have the right to request a one-time extension of the Permit if the request is made in writing to the Planning Department prior to the expiration date of the approval. **(P)**
6. Notice. Pursuant to California Government Code Section 66020, any protest filed in court relating to the imposition of fees, dedication, reservations, or other exactions to be imposed on the development project shall be filed within ninety (90) days after the date of the approval of this Permit. This provision serves as notice from the local agency to the Permittee that the ninety (90) day period in which the applicant may file a protest has begun under California Government Code Section 66020(d)(1). **(CA)**

7. Cost and Approval. Permittee shall fully complete and satisfy each and every condition set forth in this Permit and any other condition applicable to the project to the sole satisfaction of the City. Additionally, Permittee shall be solely responsible and liable for the cost to satisfy each and every condition. Permittee shall pay all required fees and charges to the City at the rate in effect at time of building permit issuance, or, the rate in effect when the fees and charges are due and paid in full to the City. There is no vesting of any fees or charges with the approval of this Permit. **(P)**
8. Conditions. Each and every condition set forth in this Exhibit shall apply to the project and continue to apply to the project so long as the Permittee is operating the project under the permits and approvals in this Permit. **(P)**
9. Compliance with Laws. The construction, use, and all related activity authorized under this Permit shall comply with all applicable local, state, and federal laws, rules, regulations, guidelines, requirements, and policies. **(CA/P)**
10. Previous Approvals. Permittee shall abide and continue to comply with all previous City approvals, permits, or requirements relating to the subject property, unless explicitly superseded or revised by this Permit. **(P)**
11. Indemnification. To the fullest extent permitted by law, Permittee shall indemnify, defend with counsel of the City's choosing, and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to (i) City's approval of the project, including but not limited to, the approval of the discretionary permits, maps under the Subdivision Map Act, and/or the City's related determinations or actions under the California Environmental Quality Act, and (ii) Permittee's construction, operation, use, or related activity under this Permit. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. Permittee shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. **(CA)**
12. Written Response to Conditions. The Permittee shall provide a written response to the Conditions of Approval indicating how each condition has been addressed with the building permit application submittal. **(ALL)**
13. Revocation, Suspension, Modification. This Permit may be suspended, revoked, or modified in accordance with Section XI-10-63.06 of the Milpitas Zoning Code. **(P)**

- 14. Severability. If any term, provision, or condition of this Permit is held to be illegal or unenforceable by the Court, such term, provision, or condition shall be severed and shall be inoperative, and the remainder of this Permit shall remain operative, binding, and fully enforceable. **(CA)**

- 15. Permittee shall develop the approved project in conformance with the approved plans (date stamped June 29, 2023), approved by the Zoning Administrator in accordance with these Conditions of Approval. **(P)**

 Any deviation from the approved site plan, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the Permittee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Zoning Administrator or City Council, as applicable, in accordance with the Milpitas Zoning Code. **(P)**

- 16. Landscaping. The permittee shall comply with MMC Section XI-10-13.08(F)(9)(a). Final landscape plans shall be submitted to Planning prior to Building Permit submittal and landscaping shall be installed prior to the final Building Permit inspection. **(P)**

- 17. Fire Department. The permittee shall comply with the requirements of the Fire Department and the California Fire Code, as may be amended by the City of Milpitas. Changes to the site plan and/or internal circulation shall be reviewed and approved by the Fire Department. **(F)**

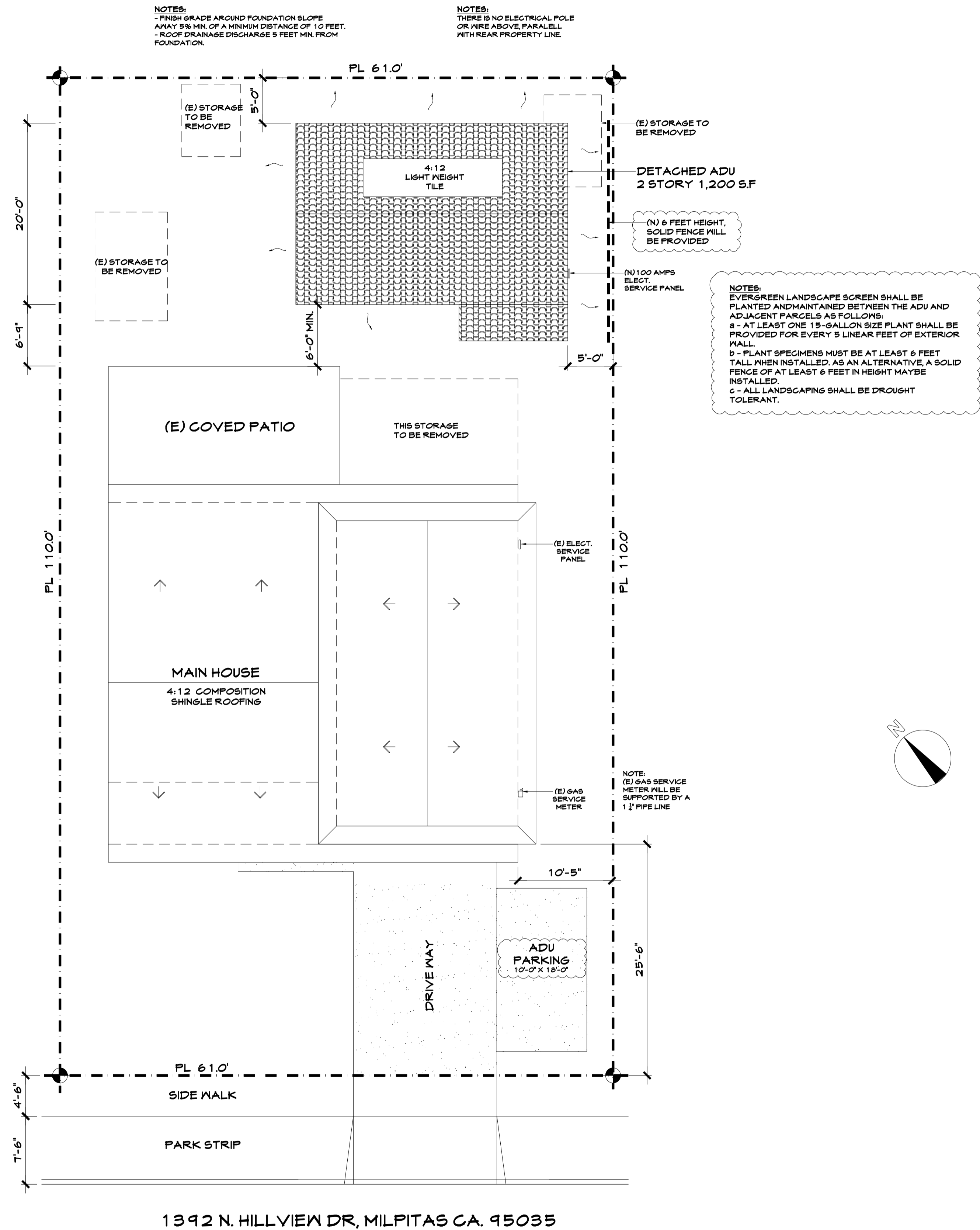
- 18. Building Department. The permittee shall comply with the requirements of the Building, Safety and Housing Department. Building construction plans must be submitted for review and approval before construction is to commence. All applicable California Code of Regulations Title 24 and Milpitas Municipal Code requirements at the time of building permit application must be met in advance of any building permit approvals or related construction. **(B)**

- 19. Land Development Department The project/development shall comply with the requirements of the Engineering Division. Changes to the site plan shall be reviewed and approved by the Engineering Division. **(LD)**

(P) = Planning
 (PO) = Police
 (F) = Fire Prevention
 (B) = Building
 (LD) = Land Development
 (CA) = City Attorney

Jay Lee, AICP
Planning Director

Date: _____

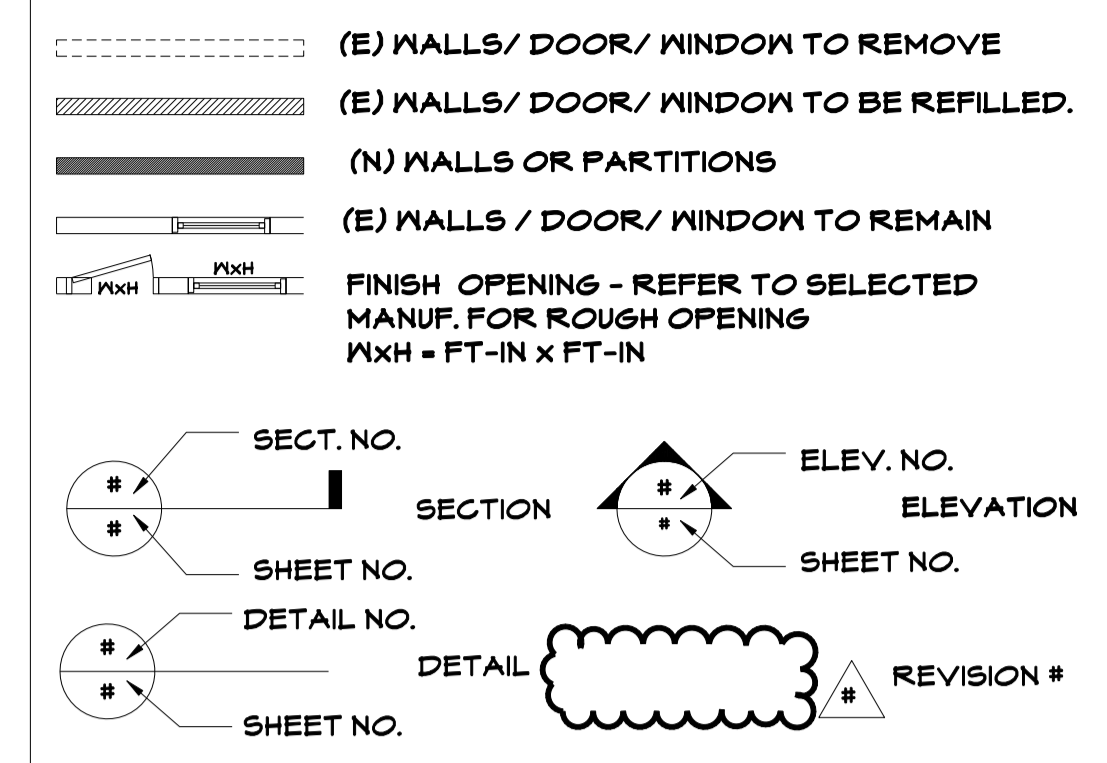


SITE PLAN SCALE: 1/8" = 1'-0"

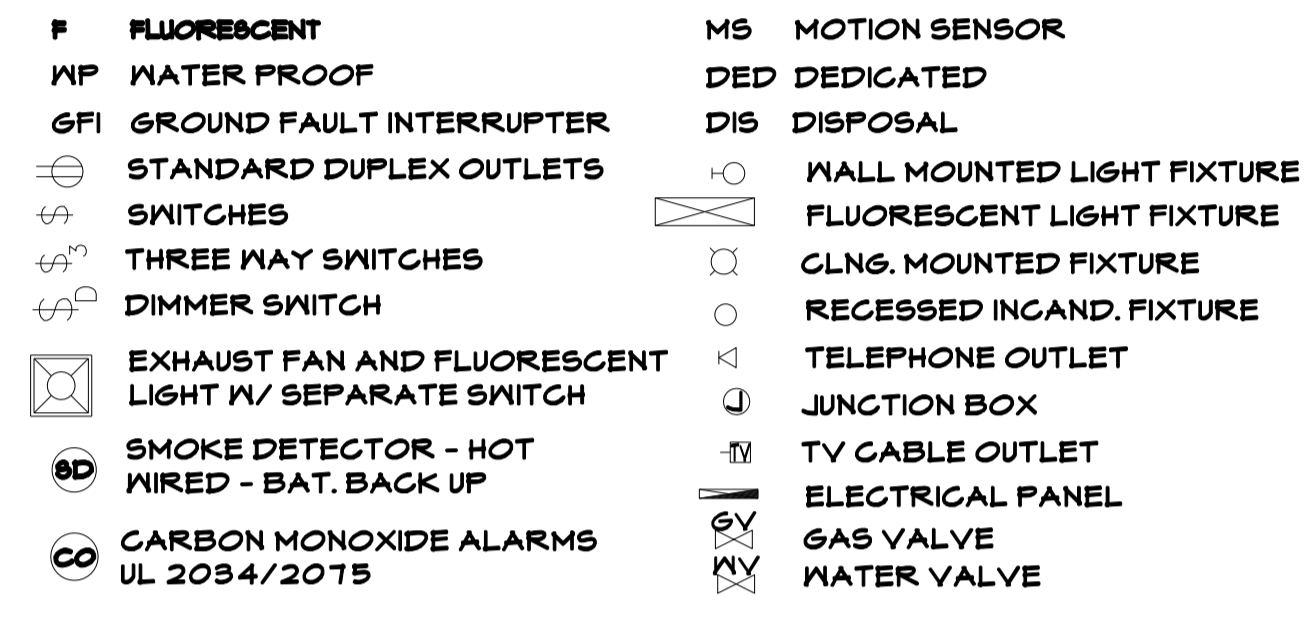
GENERAL NOTES

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES:
 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA GREEN BUILDING CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA TITLE 24 ENERGY REGULATIONS
 AND ALSO 2022 MILPITAS MUNICIPAL CODE AMENDMENTS.

LEGEND & SYMBOLS



ELECTRICAL LEGEND & SYMBOLS



PROJECT DATA

PROJECT OWNER: THANH NGUYEN
 1392 N. HILLVIEW DR, MILPITAS CA. 95035
 APN: 026 - 23 - 004
 ZONING: R1
 CONSTRUCTION TYPE: V-B
 OCCUPANCY: R3/U
 AUTOMATIC SPINKLERS: NO
 LOT SIZE: 6,710 SF
 (E) LIVING AREA: 2,118 SF
 DETACHED ADU: 1,200 SF

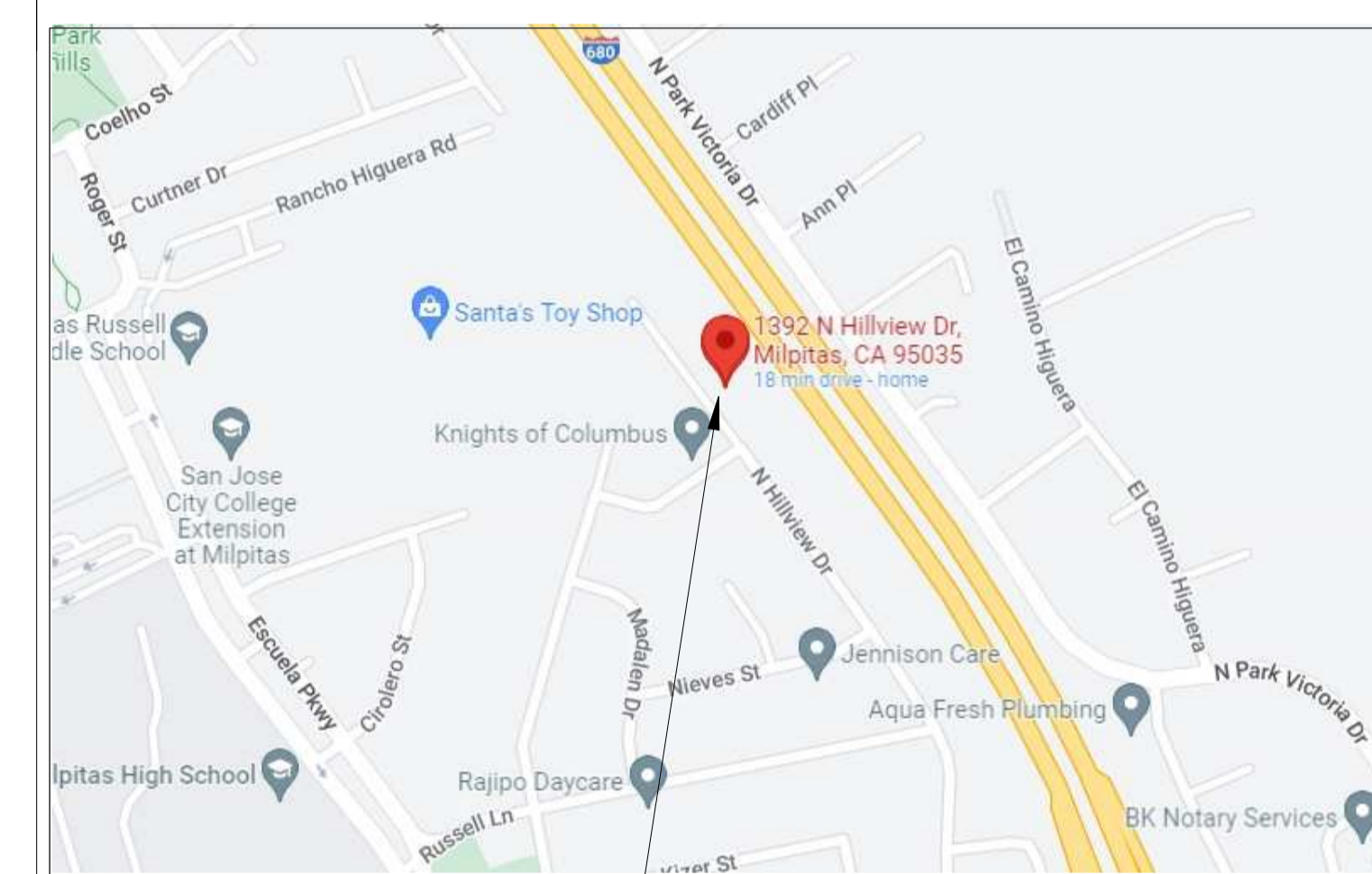
LOT COVERAGE: 2,757: 6,710 = 0.410 = 41%
 OPEN SPACE: 3,953 : 6,710 = 0.589 = 58%
 FAR: 2,118 + 1,200 = 3,318
 3,318 : 6,710 = 0.494 = 49%

SCOPE OF WORK

DETACHED 2 STORY ADU, CONTENT: 1 LIVING ROOM, 1 DINING ROOM, 1 FULL BATHROOM, 1 LAUNDRY AND A KITCHEN AT 1ST FLOOR, 2 BEDROOMS AND 1 FULL BATHROOM ON 2ND FLOOR. TOTAL: 1,200 SF

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- A3: SECTIONS AND DETAILS
- A4: TITLE-24
- A5: BLUEPRINT FOR A CLEAN BAY
- A6: 2019 CALGREEN MANDATORY MEASURES CHECKLIST
- S0: STRUCTURAL TITLE
- S1: FOUNDATION PLAN
- S2: MID FLOOR AND ROOF FRAMING PLAN
- SD-1: STANDARD DETAILS
- SD-2: STANDARD DETAILS
- SD-3: STANDARD DETAILS
- FD-1: STANDARD DETAILS
- WD-1: WOOD DETAILS



DRAWN BY
DESIGN & CONSTRUCTION GR
 942 CHESWICK DR, SAN JOSE CA 95121
 Contact: (408) 990-6617
 hnharrison2@gmail.com

PROJECT OWNER:
 THANH NGUYEN
 1392 N. Hillview Dr,
 Milpitas CA. 95035
 (408) 482-7479
 00thanhnguyen@gmail.com

PROJECT NAME:
DETACHED 2 STORY ADU
 GENERAL NOTES, LEGEND & SYMBOLS, PROJECT DATA, SCOPE OF WORK, VICINITY MAP, SITE PLAN.

DRAWING DATE:
 Jan 01, 23 by HN

NO.	DATE	REVISION
1	6/24/23	HN

SHEET 0 OF 14

A0

FLOOR PLAN NOTES:

- EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR TUB/SHOWER COMBINATION MECHANICALLY VENTILATED PURPOSES OF HUMIDITY CONTROL IN ACCORDANCE WITH CMC CHAPTER 4. MINIMUM 50 CFM AND HUMIDITY CONTROLLED.

- WATER CLOSET AND BIDETS SHALL BE 15" FROM CENTER TO SIDE OF THE WALLS AND CLEAR SPACE IN FRONT NOT LESS THAN 24".
 - SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN A 22" UNOBSTRUCTED OPENING FOR EGRESS.
 - SHOWER PAN SHALL BE 1024 SQ. IN. MINIMUM, AND ALSO CAPABLE OF ENCOMPASSING A 30" CIRCLE.

- CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED SO THAT THE HEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT.

- SHOWER AND TUB/ SHOWER WALLS TO SPECIFY A SMOOTH, HARD, NONABSORBENT SURFACE (E.G., CERAMIC TILE OR FIBERGLASS) OVER A MOITURE RESISTANT UNDERLAYMENT (E.G., CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET.

- WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS.

ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE EXTERIOR FOUNDATION TO BE 8 INCHES ABOVE THE EXPOSED GROUND PER CRC R317.1

ALL WOOD IN CONTACT WITH CONCRETE AND/OR WEATHER SHALL BE PRESURE TREATED LUMBER OR DECAY RESISTANT LUMBER PER CRC R317.1

SHOWER FLOOR & WALLS WITH INSTALLED SHOWER HEADS & IN SHOWER COMPARTMENT SHALL BE FINISHED WITH NON-ABSORBENT SURFACE AND SHALL EXTEND NOT LESS THAN 6 FEET ABOVE FLOOR.

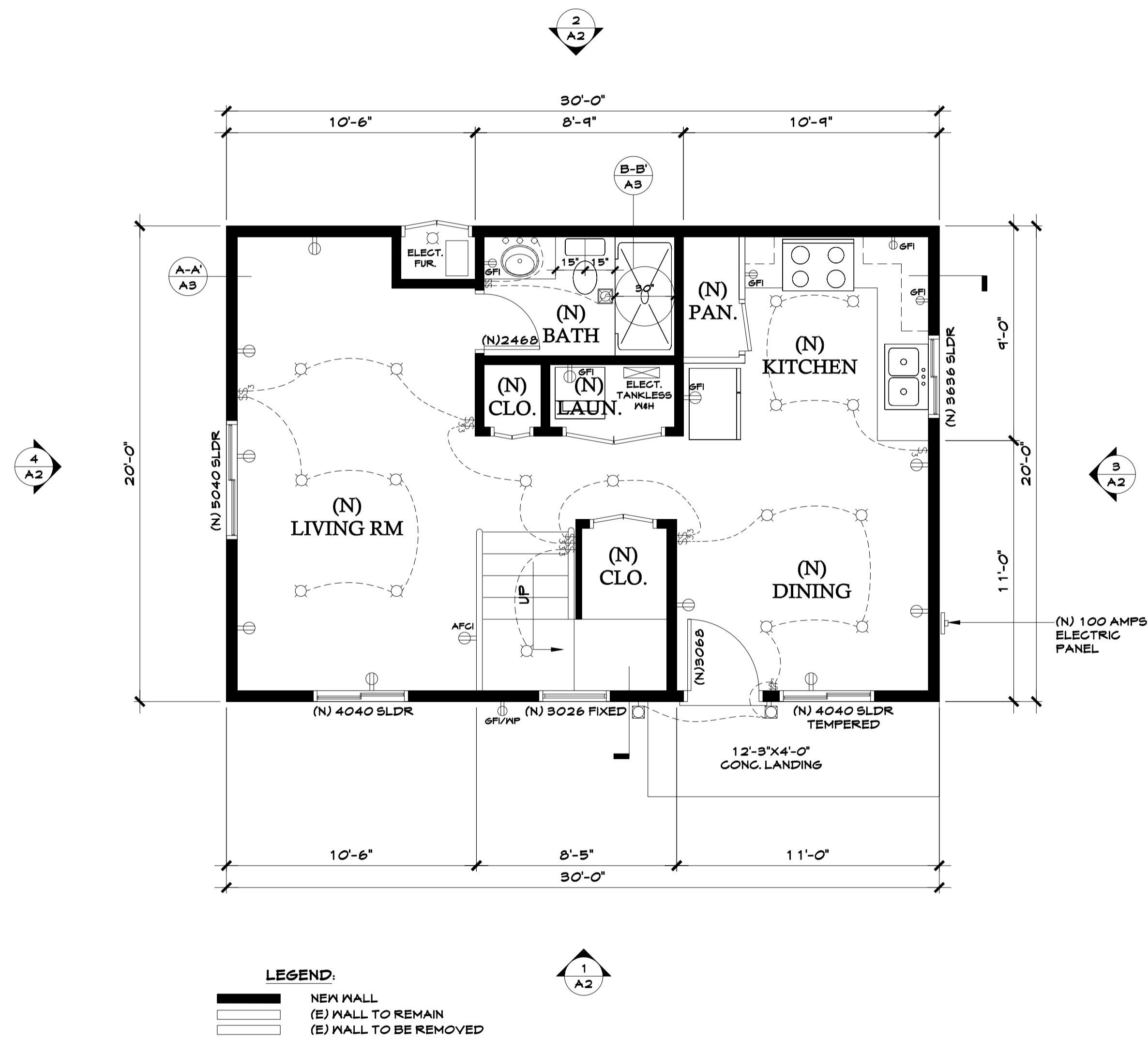
GYP. BOARD WILL NOT BE USED WHERE THERE IS DIRECT EXPOSURE TO WATER OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY

SHOWER DOOR SHALL BE TEMPER. GLAZED

ALL RECEPTACLES AFCI PROTECTED & TEMPER RESISTANCE.

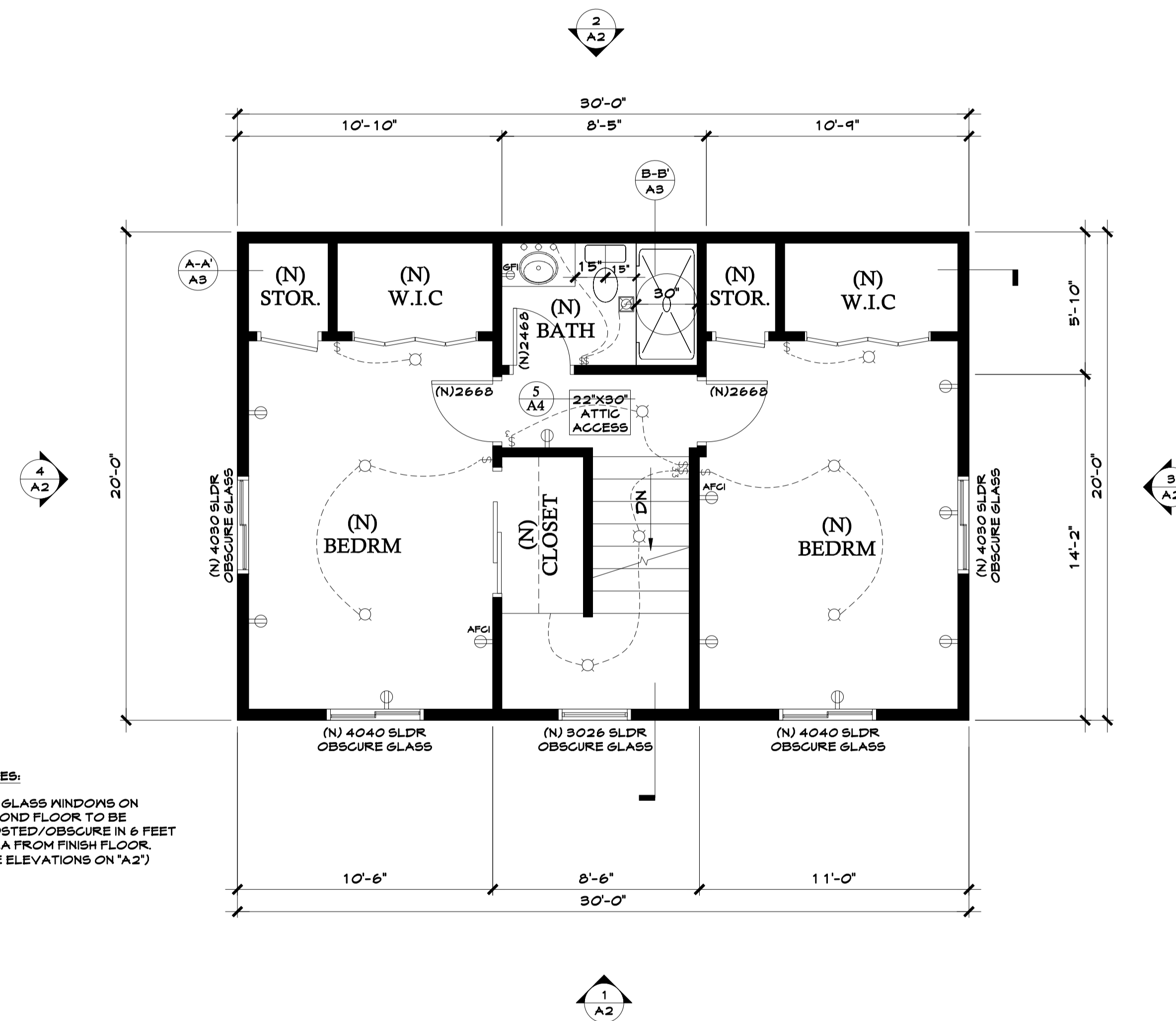
(N) FLOOR FINISHES BY OWNER. COORDINATE W/ OWNER FOR EXACT MATERIAL TYPICAL.

KITCHEN EXHAUST FAN SHALL BE 100 CFM AND TERMINATES TO OUTSIDE THE BUILDING.



PROPOSED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

DRAWN BY
DESIGN & CONSTRUCTION GR
 942 CHESWICK DR, SAN JOSE CA 95121
 Contact: (408) 990-6617
 hnharrison2@gmail.com

PROJECT OWNER:
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 1392 N. Hillview Dr,
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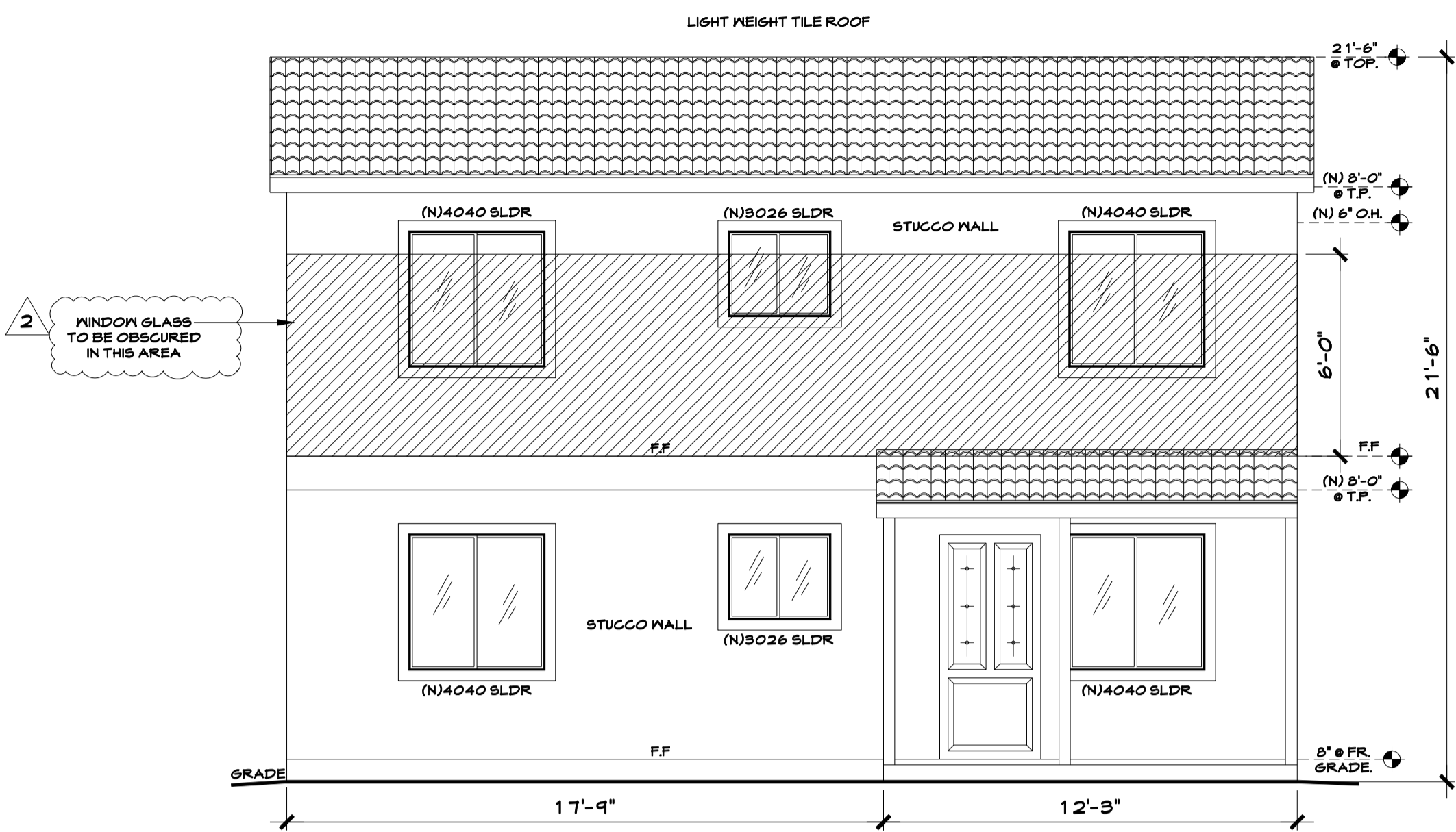
PROJECT NAME:
DETACHED 2 STORY ADU
PROPOSED 1ST & 2ND FLOOR PLAN.

DRAWING DATE:
 Jan 01, 23 by HN

NO.	DATE	REVISION
1	6/29/23	HN

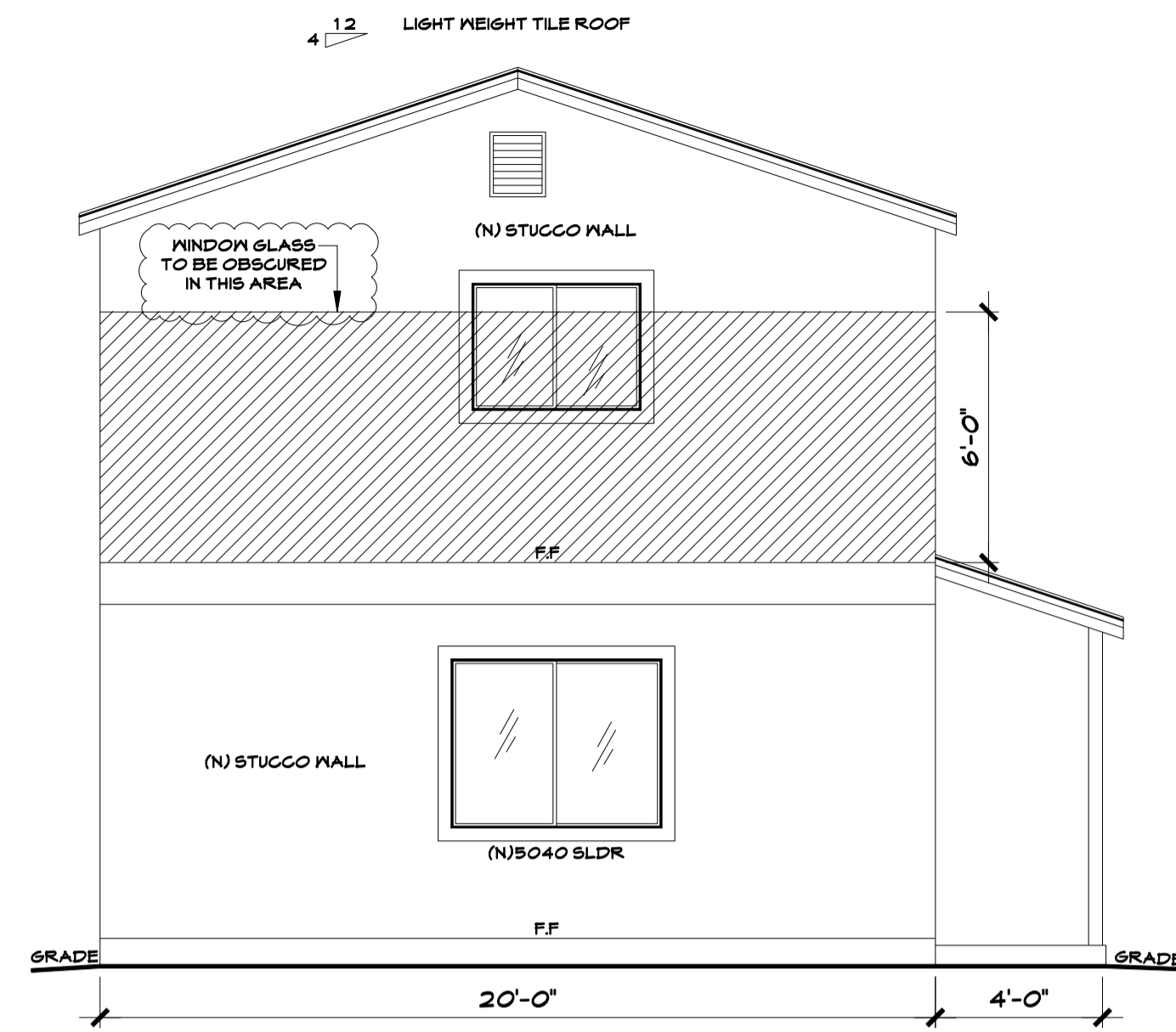
SHEET 2 OF 14

A1

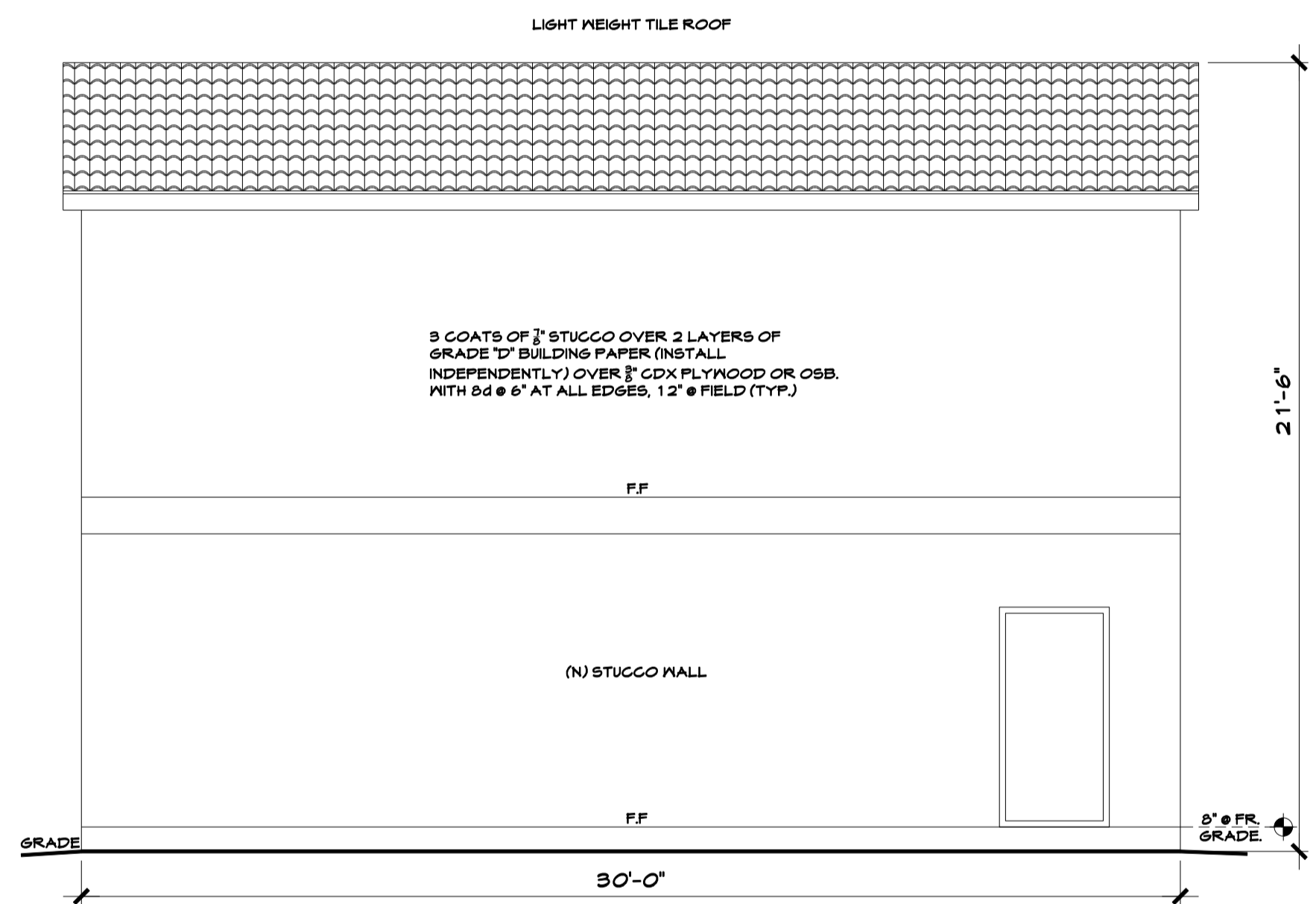


1 FRONT ELEVATION SCALE: 1/4" = 1'-0"

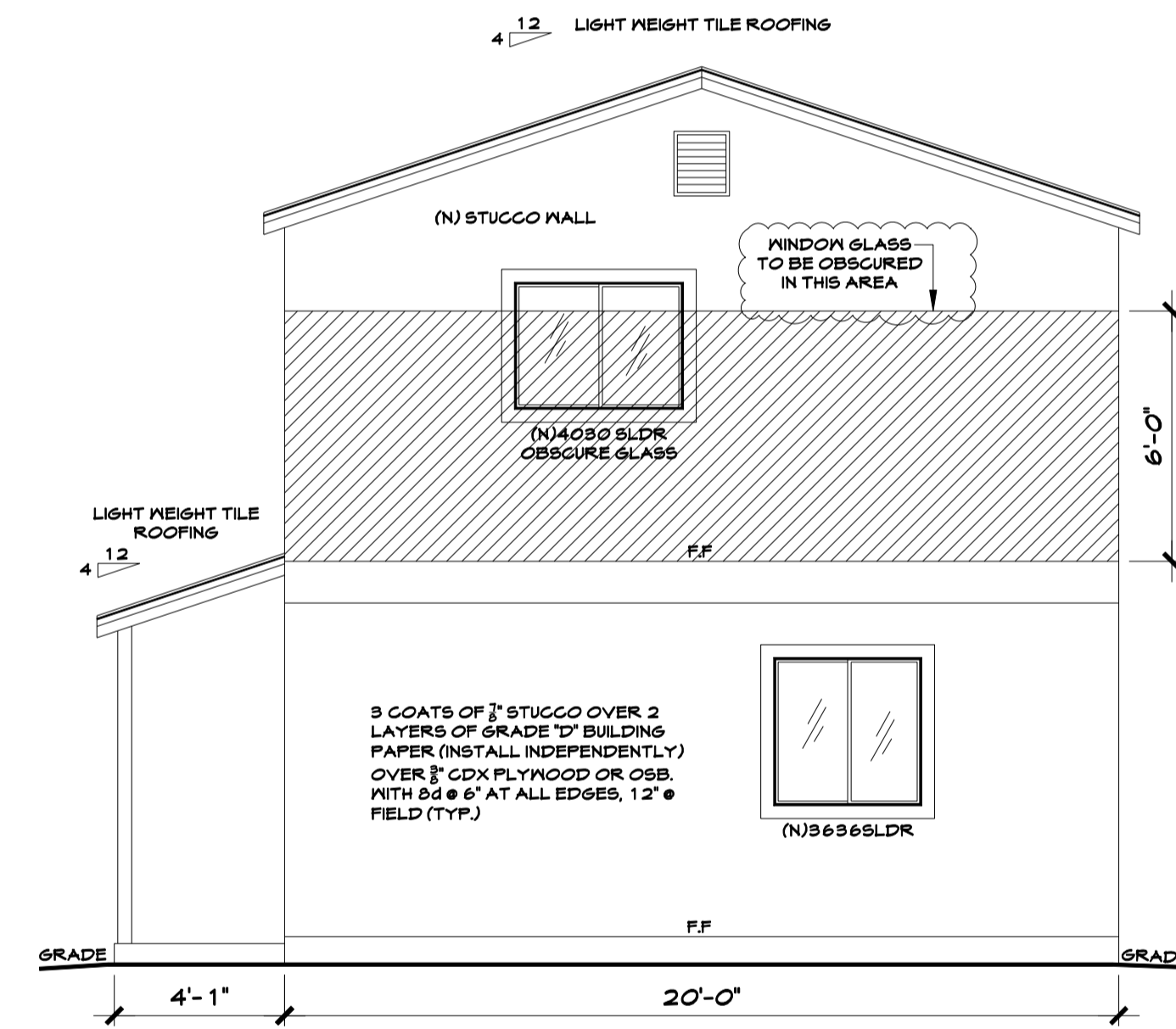
NOTES:
NEW STUCCO WALL, MATERIALS AND COLOR TO BE
MATCHED WITH EXISTING



3 LEFT ELEVATION SCALE: 1/4" = 1'-0"



2 REAR ELEVATION SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION SCALE: 1/4" = 1'-0"

DRAWN BY
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Contact: (408) 990-6617
hnharrison2@gmail.com

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1392 N. Hillview Dr,
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(408) 482-7479
00thanhnguyen@gmail.com

PROJECT NAME:
DETACHED 2 STORY ADU
ELEVATIONS

DRAWING DATE:
Jan 01, 23 by HN

NO.	DATE	REVISION
1	6/29/23	HN
2	12/22/23	HN

SHEET 3 OF 14

A2

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DESIGN & CONSTRUCTION GR
 942 CHESWICK DR, SAN JOSE CA 95121
 Contact: (408) 990-6617
 inharrison2@gmail.com

PROJECT OWNER:
THANH NGUYEN
 1392 N. Hillview Dr,
 Milpitas CA. 95035
 (408) 482-7479
 00thanhnguyen@gmail.com

PROJECT NAME:
DETACHED 2 STORY ADU
 SECTIONS, DETAILS

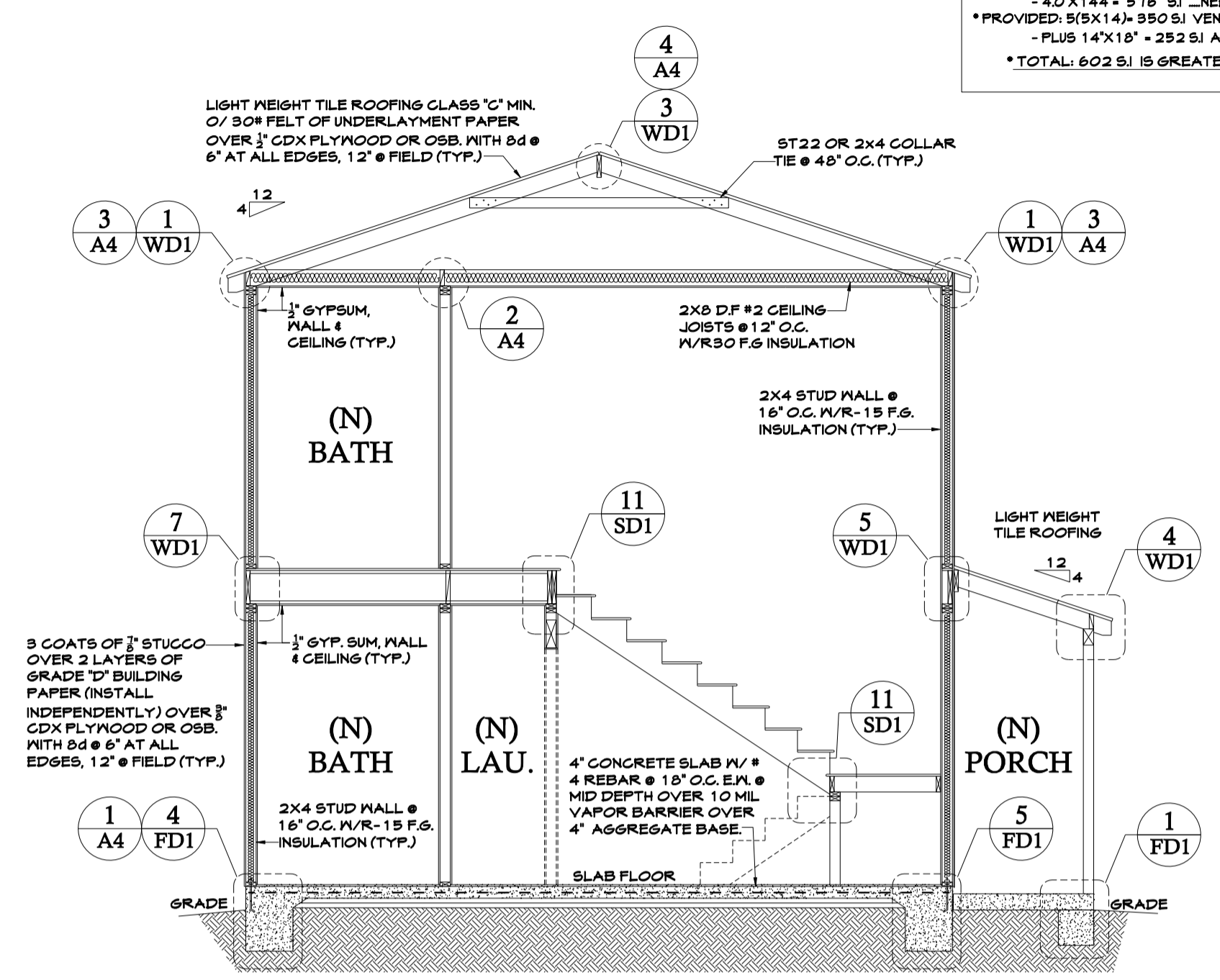
DRAWING DATE:
 Jan 01, 23 by HN

NO.	DATE	REVISION
1	6/29/23	HN
2		
3		
4		
5		

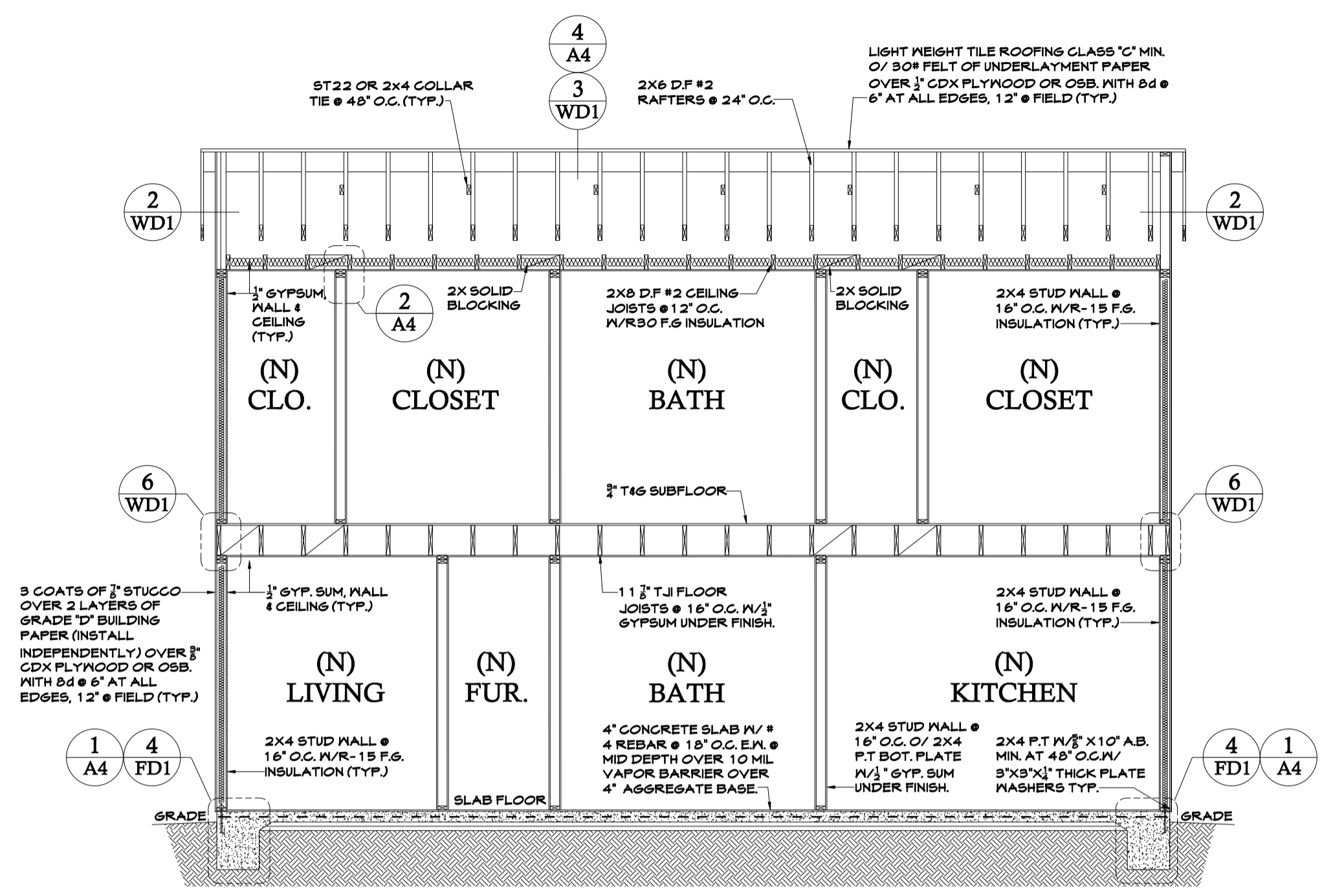
SHEET 4 OF 14

A3

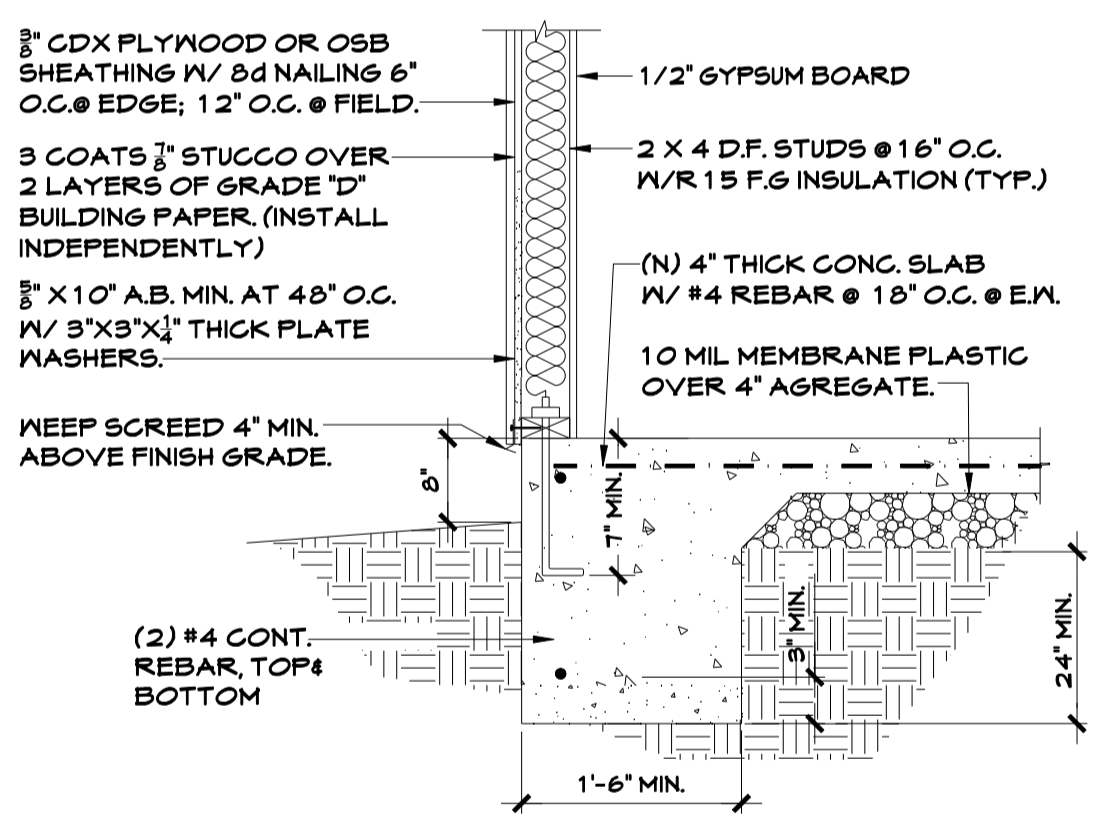
ATTIC VENT CALCULATION
 - 1/150 OF ATTIC AREA (600 SF)
 - 600 / 150 = 4.0 SQUARE FEET
 - 4.0 X 14" = 56" SJ - NEEDED.
 * PROVIDED: 56" X 14" = 350 SJ VENT SCREENS AT FRONT.
 - PLUS 14" X 10" = 252 SJ AT GABLE END.
 * TOTAL: 602 SJ IS GREATER THAN 576 SJ.



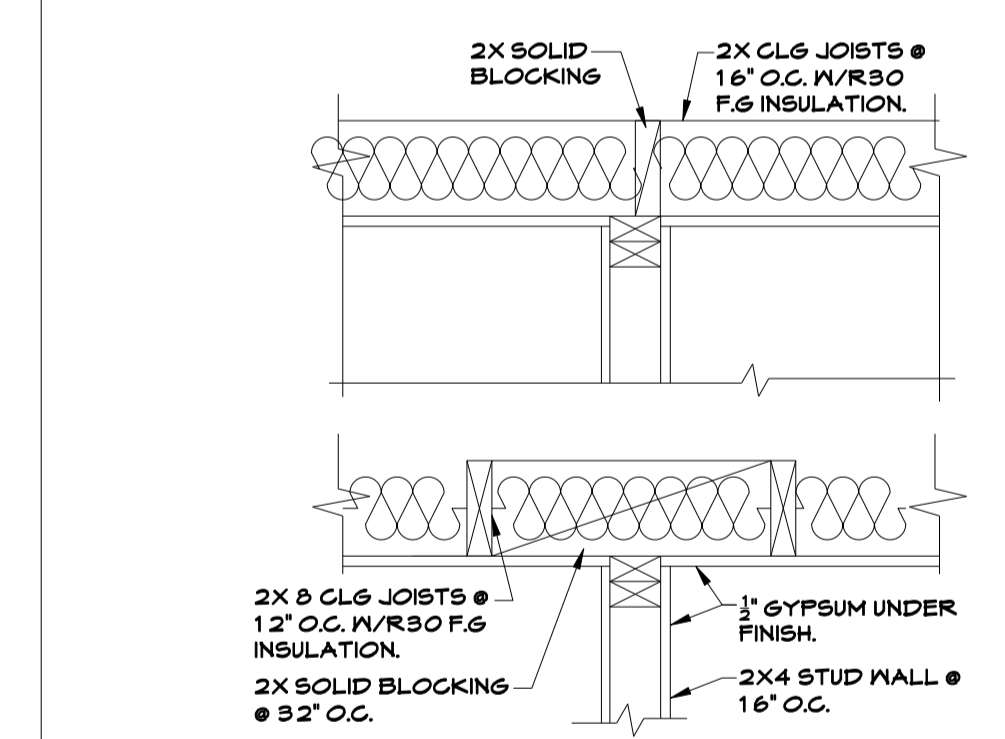
SECTION B-B'
 SCALE: 1/4" = 1'-0"



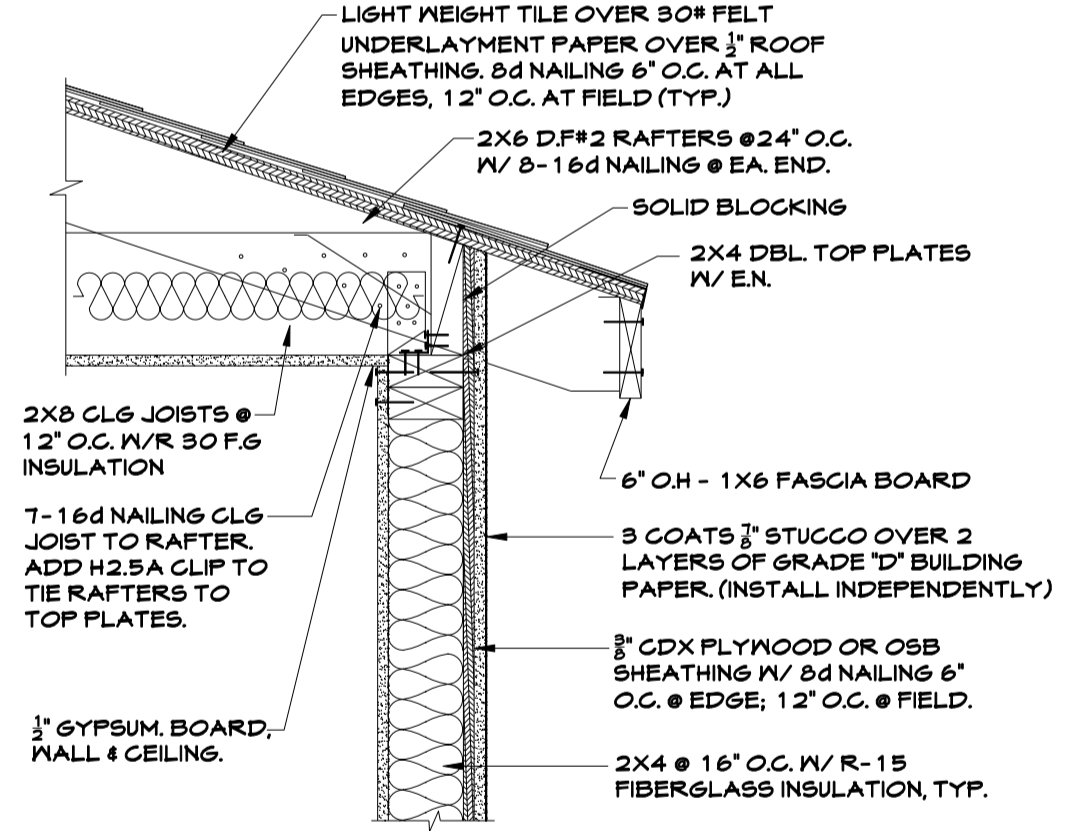
SECTION A-A'
 SCALE: 1/4" = 1'-0"



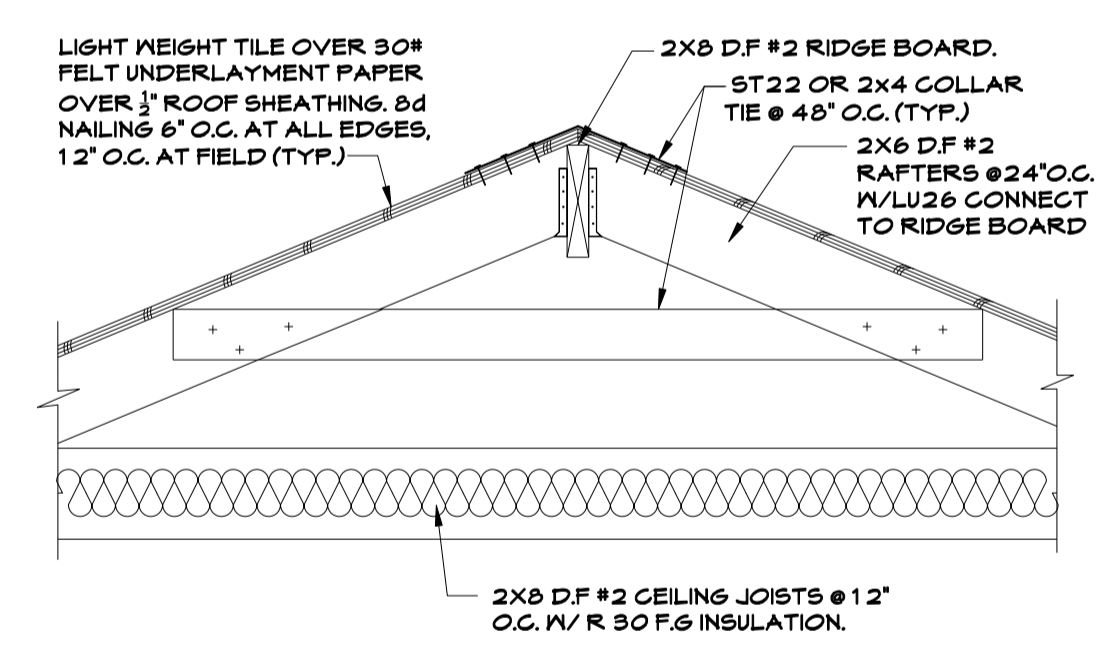
1 NEW EXTERIOR FOOTING
 N.T.S.



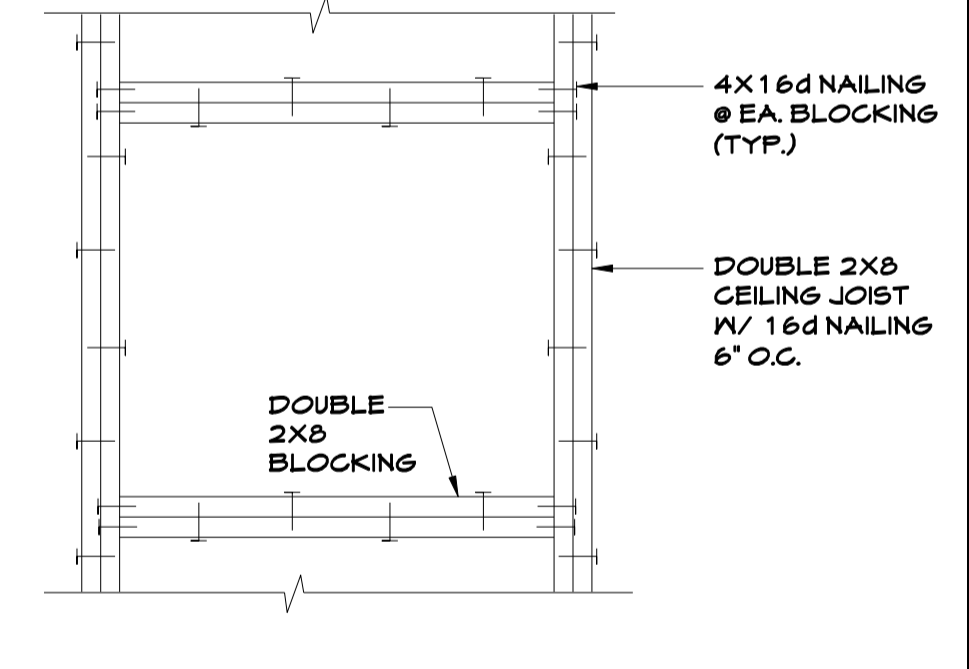
2 NON BEARING-PARTITION WALL (TYP.)
 N.T.S.



3 1 HOUR FIRE RATED WALL
 N.T.S.



4 RAFTER @ RIDGE CONNECTION
 N.T.S.



5 ATTIC ACCESS FRAMING
 N.T.S.

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GENERAL INFORMATION			
01	Project Name	Hillview Drive ADU	
02	Run Title	Title 24 Analysis	
03	Project Location	1392 Hillview Drive	
04	City	Milpitas	05 Standards Version
06	Zip code	95035	07 Software Version
08	Climate Zone	4	08 Front Orientation (deg) / Cardinal
09	Building Type	Single Family	09 Number of Dwelling Units
10	Project Scope	Newly Constructed	10 Number of Bedrooms
11	Addition Cond. Floor Area (ft²)	0	11 Number of Stories
12	Existing Cond. Floor Area (ft²)	n/a	12 Fenestration Average U-factor
13	Total Cond. Floor Area (ft²)	1200	13 Glazing Percentage (%)
14	ADU Bedroom Count	n/a	

COMPLIANCE RESULTS

01 Building Complies with Computer Performance

02 This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CRC-approved HERS provider.

03 This building incorporates one or more Special Features shown below

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 Schema Version: rev 20220901

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ENERGY DESIGN RATINGS	Energy Design Ratings			Compliance Margins		
	Source Energy (EUI1)	Efficiency² EDR (EUI1/Efficiency)	Total² EDR (EUI1/Efficiency)	Source Energy (EUI1)	Efficiency² EDR (EUI1/Efficiency)	Total² EDR (EUI1/Efficiency)
Standard Design	33.6	39.3	35.1			
Proposed Design	30	38.3	34.6	3.6	0.9	0.5

RESULTS: PASS

²Efficiency EDR includes improvements like a better building envelope and more efficient equipment
 Total EDR includes efficiency and demand response measures such as photovoltaic (PV) system and batteries
 Building complies when source energy efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded

* Standard Design PV Capacity: 2.02 kWdc (a factor of 2.02) to achieve "Standard Design PV" PV system
 * PV System related to 2.02 kWdc (a factor of 2.02) to achieve "Standard Design PV" PV system

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ENERGY USE SUMMARY	Standard Design Source Energy (EUI1) (kWh/ft²-yr)	Standard Design TOU Energy (EUI2) (kWh/ft²-yr)	Proposed Design Source Energy (EUI1) (kWh/ft²-yr)	Proposed Design TOU Energy (EUI2) (kWh/ft²-yr)	Compliance Margin (EUI1)	Compliance Margin (EUI2)
Space Heating	2.48	10.91	2.01	15.92	0.47	-0.01
Space Cooling	0.34	16.43	0.26	16.18	0.08	0.25
IAQ Ventilation	0.37	5.92	0.37	3.92	0	0
Water Heating	1.99	20.86	1.33	14.86	0.66	6
Self Utilization/Photovoltaic Credit				0		0
Efficiency Compliance Total	5.18	52.12	3.97	50.88	1.21	1.24
Photovoltaics	-1.48	-50.98	-1.48	-50.9		
Battery				0		
Flexibility						
Indoor Lighting	0.8	7.92	0.8	7.92		
Appl. & Cooking	3.08	38.96	3.07	38.83		
Plug Loads	3.77	39.2	3.77	39.2		
Outdoor Lighting	0.2	1.77	0.2	1.77		
TOTAL COMPLIANCE	11.55	88.99	10.33	87.7		

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ENERGY USE INTENSITY	Standard Design (kBtu/ft²-yr)	Proposed Design (kBtu/ft²-yr)	Compliance Margin (kBtu/ft²-yr)	Margin Percentage
Gross EUI¹	17.25	15.4	1.85	10.72
Net EUI²	8.14	6.29	1.85	22.73

Notes:
 1. Gross EUI is Energy Use Total (not including PV) / Total Building Area.
 2. Net EUI is Energy Use Total (including PV) / Total Building Area.

REQUIRED PV SYSTEMS	01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (Watt)	Exception	Module Type	Array Type	Power Electronics	CI	Asmuth (deg)	Tilt Input	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)	Annual Solar Acres (%)	
2.02	NA	Standard (16:17)	Fixed	none	true	150-270	n/a	n/a	<=7.12	96	98	

REQUIRED SPECIAL FEATURES

The following are features that must be installed as a condition for meeting the modeled energy performance for this computer analysis.

- Cool roof
- Variable capacity heat pump compliance option (verification details from VCHP Staff report, Appendix B, and RA3)
- Northwest Energy Efficiency Alliance (NEEA) rated heat pump water heater, specific brand/model, or equivalent, must be installed

NEEA FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF18s and CF18s are required to be completed in the HERS Registry

- Indoor air quality verification
- Kitchen range hood
- Verified Refrigerant Charge
- Airflow in habitable rooms (SC3.1.4.1.7)
- Verified heat pump rated heating capacity
- Wall-mounted thermostat in rooms greater than 150 sq. ft. (SC3.4.1.5)
- Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)

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BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Hillview Drive ADU	1200	1	2	1	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Status
Living Area	Conditioned	HVAC System 1	1200	8	DHW Sys 1	Now

OPAQUE SURFACES						
01	02	03	04	05	06	07
Name	Zone	Construction	Admittance	Orientation	Gross Area (ft²)	Window and Door Area (ft²)
Front Wall	Living Area	R21 Wall	0.25	Front	240	55.5
Left Wall	Living Area	R21 Wall	0.25	Left	160	20
Rear Wall	Living Area	R21 Wall	0.25	Back	240	0
Right Wall	Living Area	R21 Wall	0.25	Right	160	12
Front Wall 2	Living Area	R21 Wall	0.25	Front	240	39.5
Left Wall 2	Living Area	R21 Wall	0.25	Left	160	16
Rear Wall 2	Living Area	R21 Wall	0.25	Back	240	0
Right Wall 2	Living Area	R21 Wall	0.25	Right	160	16
Roof	Living Area	R-30 Roof Attic	n/a	n/a	600	n/a

ATTIC						
01	02	03	04	05	06	07
Name	Construction	Type	Roof Rise (in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier
Attic Living Area	Attic Roof/Living Area	Ventilated	4	0.63	0.75	Yes

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FENESTRATION / GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window	Window	Front Wall	Front	225			1	16	0.3	NFRC	0.23	NFRC	Bug Screen
Window 2	Window	Front Wall	Front	225			1	7.5	0.3	NFRC	0.23	NFRC	Bug Screen
Window 3	Window	Front Wall	Front	225			1	16	0.3	NFRC	0.23	NFRC	Bug Screen
Window 4	Window	Left Wall	Left	315			1	20	0.3	NFRC	0.23	NFRC	Bug Screen
Window 5	Window	Right Wall	Right	135			1	12	0.3	NFRC	0.23	NFRC	Bug Screen
Window 6	Window	Front Wall 2	Front	225			1	16	0.3	NFRC	0.23	NFRC	Bug Screen
Window 7	Window	Front Wall 2	Front	225			1	7.5	0.3	NFRC	0.23	NFRC	Bug Screen
Window 8	Window	Front Wall 2	Front	225			1	16	0.3	NFRC	0.23	NFRC	Bug Screen
Window 9	Window	Left Wall 2	Left	315			1	16	0.3	NFRC	0.23	NFRC	Bug Screen
Window 10	Window	Right Wall 2	Right	135			1	16	0.3	NFRC	0.23	NFRC	Bug Screen

OPAQUE DOORS			
01	02	03	04
Name	Side of Building	Area (ft²)	U-factor
Door	Front Wall	20	0.5

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SLAB FLOORS							
01	02	03	04	05	06	07	08
Name	Zone	Area (ft²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab	Living Area	600	100	none	0	80%	No

OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuity R-value	U-factor	Assembly Layers
R21 Wall	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O.C.	R-21	None / None	0.069	Inside Finish: Gypsum Board Cavity / Frame: R-21 2x6 Exterior Finish: 3 Coat Stucco
Attic Roof/Living Area	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R-0	None / 0	0.644	Roofing: Light Roof (Asphalt Shingles) Roof Deck: Wood Siding/Sheathing/Decking Cavity / Frame: no insul. / 2x4 Over Ceiling Joists: R-20.9 Insul. Cavity / Frame: R-5.2 2x4 Inside Finish: Gypsum Board
R-30 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R-30	None / None	0.032	

BUILDING ENVELOPE - HERS VERIFICATION				
01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFMSO	CFMSO
Not Required	Not Required	N/A	n/a	n/a

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WATER HEATING SYSTEMS								
01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (F)
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)

WATER HEATERS - NEEA HEAT PUMP							
01	02	03	04	05	06	07	08
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Model	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1	50	A05m0h	A05m0hP1050	Outside	Living Area	Living Area

WATER HEATING - HERS VERIFICATION						
01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - L11	Not Required	Not Required	Not Required	None	Not Required	Not Required

SPACE CONDITIONING SYSTEMS								
01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
HVAC System 1	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

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HVAC - HEAT PUMPS												
01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Efficiency Type	HSPF / HSPF2 / COP	Cap 17	Cap 17	Efficiency Type	SEER / SEER2	SEER / SEER2	SEER / SEER2	SEER / SEER2	HERS Verification
Heat Pump System 1	VCHP-Ductless	1	HSPF	8.8	24000	22800	EEERSEER	15	12.2	Not Zonal	Single Speed	Heat Pump System 3-lets-Hgump

HVAC HEAT PUMPS - HERS VERIFICATION								
01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EEER/EEER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1	Not Required	0	Not Required	Not Required	Yes	No	Yes	Yes

VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION - HERS VERIFICATION								
01	02	03	04	05	06	07	08	09
Name	Capacity	Control	Airflow to Habitable Rooms	Ductless Units in Conditioned Space	Wall Mount Thermostat	Air Filter Sizing & Pressure Drop Rating	Low Leakage Ducts in Conditioned Space	Minimum Airflow per PAS.3 and SC3.3.4.1.1
Heat Pump System 1	Not required	Required	Required	Required	Not required	Not required	Not required	Not required

Fresh Concrete and Mortar Application

Who should use this information?

- Masons and Bricklayers
- Sidewalk Construction Crews
- Patio Construction Workers
- Construction Inspectors
- General Contractors
- Home Builders
- Developers
- Concrete Delivery/Pumping Workers



Doing the Job Right General Business Practices

- Wash out concrete mixers only in designated wash-out areas in your yard, away from storm drains and waterways, where the water will flow into a temporary waste pit in a dirt area. Let water percolate through soil and dispose of settled, hardened concrete as garbage. Whenever possible, recycle washout by pumping back into mixers for reuse.
- Wash out chutes onto dirt areas at site that do not flow to streets or drains.
- Always store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from streets, gutters, storm drains, rainfall, and runoff.
- Do not use diesel fuel as a lubricant on concrete forms, tools, or trailers.

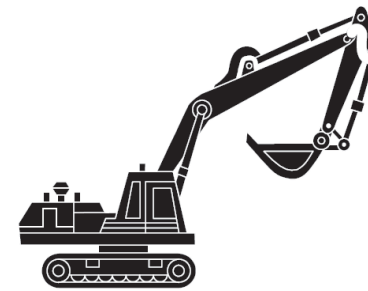
During Construction

- Don't mix up more fresh concrete or cement than you will use in a two-hour period.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.
- When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.
- Protect applications of fresh concrete and mortar from rainfall and runoff until the material has dried.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) be vacuumed from a catchment created by blocking a storm drain inlet. If necessary, divert runoff with temporary berms. Make sure runoff does not reach gutters or storm drains.
- When breaking up pavement, be sure to pick up all the pieces and dispose of properly. Recycle large chunks of broken concrete at a local recycling facility.
- Never bury waste material. Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- Never dispose of washout into the street, storm drains, drainage ditches, or streams.

Heavy Equipment Operation

Who should use this information?

- Vehicle and Equipment Operators
- Site Supervisors
- General Contractors
- Home Builders
- Developers



Doing the Job Right Site Planning and Preventive Vehicle Maintenance

- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance. Contain the area with berms, sand bags, or other barriers.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site where cleanup is easier.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloth to catch drips and spills. Collect all spent fluids, store in separate containers. Recycle them wherever possible, otherwise, dispose of them as hazardous wastes.
- Do not use diesel oil to lubricate equipment parts, or clean equipment. Use only water for any onsite cleaning.
- Cover exposed fifth wheel hitches and other oily or greasy equipment during rain events.
- Use as little water as possible for dust control. Ensure water used doesn't leave silt or discharge to storm drains.

Spill Cleanup

- Clean up spills immediately when they happen.
- Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags) whenever possible and properly dispose of absorbent materials.
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. In Milpitas, dial 91-1 if hazardous materials might enter the storm drain.

Earth-Moving and Dewatering Activities

Who should use this information?



- Bulldozer, Back Hoe, and Grading Machine Operators
- Dump Truck Drivers
- Site Supervisors
- General Contractors
- Home Builders
- Developers

Storm Drain Pollution from Earth-Moving Activities

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains when handled improperly. Sediments in runoff can clog storm drains, smother aquatic life, and destroy habitats in creeks and the Bay. Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.

Contaminated groundwater is a common problem in the Santa Clara Valley. Depending on soil types and site history, groundwater pumped from construction sites may be contaminated with toxics (such as oil or solvents) or laden with sediments. Any of these pollutants can harm wildlife in creeks or the Bay, or interfere with wastewater treatment plant operation. Discharging sediment-laden water from a dewatering site into any water of the state without treatment is prohibited.

Doing the Job Right General Business Practices

- Schedule excavation and grading work during dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment parts, or clean equipment.

Practices During Construction

- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downslope drainage courses, streams, and storm drains with wattles, or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Refer to the Regional Water Quality Control Board's Erosion and Sediment Control

Field Manual for proper erosion and sediment control measures, and California Stormwater Quality Association Stormwater Best Management Practice Handbook (construction, 2003)

- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.
- Check for odors, discoloration, or an oily sheen on groundwater.
- Call your local wastewater treatment agency and ask whether the groundwater must be tested.
- If contamination is suspected, have the water tested by a certified laboratory.
- Depending on the test results, you may be allowed to discharge pumped groundwater to the storm drain (if no sediments present) or sanitary sewer. OR, you may be required to collect and haul pumped groundwater offsite for treatment and disposal at an appropriate treatment facility.

Detecting Contaminated Soil or Groundwater

Contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved know what to look for in detecting contaminated soil or groundwater, and testing ponded groundwater before pumping. Watch for any of these conditions:

1. Unusual soil conditions, discoloration or odor.
2. Abandoned underground tanks.
3. Abandoned wells.
4. Buried barrels, debris or trash.

If any of these are found follow the procedures below.

Roadwork and Paving

Who should use this information?

- Road Crews
- Driveway/Sidewalk/Parking Lot Construction Crews
- Seal Coat Contractors
- Operators of Grading Equipment, Paving Machines, Dump Trucks, Concrete Mixers
- Construction Inspectors
- General Contractors
- Developers
- Home Builders



Doing the Job Right General Business Practices

- Develop and implement erosion/sediment control plans for roadway embankments.
- Schedule excavation and grading work during dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs at designated areas in your maintenance yard, where cleanup is easier. Avoid performing equipment repairs at construction sites.
- When refueling or when vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment parts or clean equipment.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible, or dispose of properly.

During Construction

- Avoid paving and seal coating in wet weather, or when rain is forecast, to prevent fresh materials from contacting stormwater runoff.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Protect drainage ways by using earth dikes, sand bags, or other controls to divert trap and filter runoff.
- Never wash excess material from exposed aggregate concrete or similar treatments into a street or storm drain. Collect and recycle, or dispose to dirt area.
- Cover stockpiles (asphalt, sand, etc.) and other construction materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms.
- Park paving machines over drip pans or absorbent material (cloth, rags, etc.) to catch drips when not in use.
- Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags). Dig up, remove, and properly dispose of contaminated soil.

- Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
- Avoid over-application by water trucks for dust control.

Asphalt/Concrete Removal

- Avoid creating excess dust when breaking asphalt or concrete.
- After breaking up old pavement, be sure to remove all chunks and pieces. Make sure broken pavement does not come in contact with rainfall or runoff.
- When making saw cuts, use as little water as possible. Shovel or vacuum saw-cut slurry and remove from the site. Cover or protect storm drain inlets during saw-cutting. Sweep up, and properly dispose of, all residues.
- Sweep, never hose down streets to clean up tracked dirt. Use a street sweeper or vacuum truck. Do not dump vacuumed liquor in storm drains.

Painting and Application of Solvents and Adhesives

Who should use this information?

- Painters
- Paperhangers
- Plasterers
- Graphic Artists
- Dry Wall Crews
- Floor Covering Installers
- General Contractors
- Home Builders
- Developers
- Homeowners



Storm Drain Pollution from Paints, Solvents, and Adhesives

All paints, solvents, and adhesives contain chemicals that are harmful to wildlife in local creeks, San Francisco Bay, and the Pacific Ocean. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint material and wastes, adhesives and cleaning fluids should be recycled when possible, or disposed of properly to prevent these materials from flowing into storm drains and watercourses.

Doing the Job Right Handling Paint Products

- Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues, and cleaning fluids are hazardous wastes and must be disposed of as hazardous.
- Wash water from painted buildings constructed before 1978 can contain high amounts of lead, even if paint chips are not present. Before you begin stripping paint or cleaning pre-1978 building exteriors with water under high pressure, test paint for lead by taking paint scrapings to a local laboratory. See Yellow Pages for a state-certified laboratory.
- If there is loose paint on the building, or if the paint tests positive for lead, block storm drains. Check with the wastewater treatment plant to determine whether you may discharge water to the sanitary sewer, or if you must send it offsite for disposal as hazardous waste.

Paint Removal

- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury or tributyl tin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.
- When stripping or cleaning building exteriors with high-pressure water, block storm drains. Direct wash water onto a dirt area to find out if you can collect (mop or vacuum) building cleaning water and dispose to the sanitary sewer. Sampling of the water may be required to assist the wastewater treatment authority in making its decision.

Painting Cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, French drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary

sewer. Never pour paint down a storm drain. Dispose of excess liquids and residue as hazardous waste.

- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.
- When thoroughly dry, empty paint cans, used brushes, rags, and drop cloths may be disposed of as garbage in a sanitary landfill. Leave lids off paint cans so the refuse collector can see that they are empty. Empty, dry paint cans also may be recycled as metal.
- Dispose of empty aerosol paint cans as hazardous waste or at household hazardous waste collection events.

Recycle/Reuse Leftover Paints Whenever Possible

- Donate excess water-based (latex) paint for reuse.
- Reuse leftover oil-based paint. Dispose of non-recyclable thinners, sludge and unwanted paint, as hazardous waste.
- Unopened cans of paint may be able to be returned to the paint vendor. Check with the vendor regarding its "buy-back" policy.



BLUEPRINT FOR A CLEAN BAY

Best Management Practices for the Construction Industry

Remember: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.

Preventing Pollution: It's Up to Us

In the Santa Clara Valley, storm drains transport water directly to local creeks and San Francisco Bay without treatment. Stormwater pollution is a serious problem for wildlife dependent on our creeks and bays and for the people who live near polluted streams or bays. Common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; sediment created by erosion; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.



Santa Clara Valley Urban Runoff Pollution Prevention Program

Thirteen valley municipalities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight stormwater pollution. This "blueprint" summarizes "Best Management Practices" (BMPs) for stormwater pollution prevention.

General Construction and Site Supervision

Doing the Job Right General Principles

- Keep an orderly site and ensure good housekeeping practices are used.
- Maintain equipment properly.
- Cover materials when they are not in use.
- Keep materials away from streets, storm drains and drainage channels.
- Ensure dust control water doesn't leave site or discharge to storm drains.



Who should use this information?

- General Contractors
- Site Supervisors
- Inspectors
- Home Builders
- Developers
- Homeowners

Storm Drain Pollution from Construction Activities

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter, or street have a direct impact on local creeks and the Bay.

As a contractor, or site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

Advancing Planning To Prevent Pollution

- Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins. Use the Erosion and Sediment Control Field Manual, available from the Regional Water Quality Control Board San Francisco Bay Region, as a reference.
- Control the amount of runoff crossing your site (especially during excavation) by using berms or temporary or permanent drainage ditches to divert water flow around the site. Reduce stormwater runoff velocities by constructing temporary check dams or berms where appropriate.
- Train your employees and subcontractors. Make these brochures available to everyone who works on the construction site. Inform subcontractors about the stormwater requirements and their own responsibilities.

Landscaping, Gardening, And Pool Maintenance

Who should use this information?

- Landscapers
- Gardeners
- Swimming Pool/Spa Service and Repair Workers
- General Contractors
- Home Builders
- Developers
- Homeowners



Storm Drain Pollution from Landscaping and Swimming Pool Maintenance

Many landscaping activities expose soils and increase the likelihood that earth and garden chemicals will run off into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

Doing the Job Right General Business Practices

- Protect stockpiles (e.g., asphalt, sand, or soil) and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects during dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with sandbags or other sediment controls.
- Revegetation is an excellent form of erosion control for any site. Replant as soon as possible with temporary vegetation such as grass seed.
- Consider using Integrated Pest Management Techniques. Use pesticides sparingly, according to instructions on the label. Rinse empty containers, and use rinsewater as product. Dispose of rinsed, empty containers in the trash.
- Dispose of unused pesticides as hazardous waste.

Landscaping/Garden Maintenance

- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost if possible.
- Do not blow or rake leaves, etc. into the street, or place yard waste in gutters or on dirt shoulders. Sweep up any leaves, litter or residue in gutters or on street.
- When it's time to drain a pool, spa, or fountain, please be sure to call your local wastewater treatment plant before you start for further guidance on flow rate restrictions, backflow prevention, and handling special cleaning waste (such as acid wash). Discharge flows should be kept to the low levels typically possible through a garden hose. Higher flow rates may be prohibited by local ordinance.
- Never discharge pool or spa water to a street or storm drain; discharge to a sanitary sewer cleanout.
- If possible, when emptying a pool or spa, let chlorine dissipate for a few days and then recycle/reuse water by draining it gradually onto a landscaped area. OR

Milpitas Municipal Code (MMC) 2017

XI-16-11 Accidental Discharge - Notification of Discharge

(a) All persons shall notify the City by telephone immediately by dialing 911 upon accidentally discharging any material other than an acceptable discharge into a storm drain or watercourse to enable countermeasures to be taken by the City to minimize damage to storm drains and the receiving waters. Prohibited discharges include but are not limited to:

- (1) Sewage;
- (2) Discharges of wash water resulting from the cleaning of exterior surfaces and pavement, or the equipment and other facilities of any commercial business, or any other public or private facility;
- (3) Discharges of runoff from material storage areas, including containing chemicals, fuels, or other potentially polluting or hazardous materials;
- (4) Discharges of pool or fountain water containing chlorine, biocides, or other chemicals; discharges of pool or fountain filter backwash water;
- (5) Discharges of sediment, pet waste, vegetation clippings, or other landscape or construction-related wastes; and
- (6) Discharges of food-related wastes (e.g., grease, fish processing, and restaurant kitchen mat and trash bin wash water, etc.).

The City, at its sole option, may direct the person or persons responsible for the discharge to perform cleanup activities when it is deemed by the City that the person or persons have the capability to perform such activities. All violations shall be corrected in a timely manner before the next rain event, but no longer than ten (10) business days after the violations are discovered.

(b) The person deemed by the City responsible for the discharge shall, within five (5) days of the date of occurrence, provide a detailed written statement to the City Manager or his or her designee describing the causes of the accidental discharge and the measures being taken to prevent future occurrences. Such notification will not relieve persons of liability for violations of this Chapter or for any fines imposed on the City on account thereof under Section 13390 of the California Water Code, or for violation of Section 5650 of the California Fish and Wildlife Code, or any other applicable provisions of State or federal law.

(c) Persons deemed by the City responsible for the discharge are responsible for all expenses resulting from the discharge, including, but not limited to, damages, fines, and costs of clean-up, whether performed by their own efforts, City efforts, or the efforts of a third party. Reimbursement of City efforts shall be determined by the number of personnel required and amount of time necessary for the coordination of City efforts and actual clean-up. All personnel costs shall be charged at their current fully-burdened rate, including overtime, plus any and all other direct costs.

Spill Response Agencies:

1. Dial 911
2. Santa Clara County Environmental Health Services (408) 299-6930
3. Governor's Office of Emergency Services Warning Center (800) 852-7550 (24 hours).

Local Pollution Control Agencies

- Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195
- Santa Clara Valley Water District (408) 265-2600
- San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300
- Serving Milpitas, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga

Small Business Hazardous Waste Disposal Program

Santa Clara County businesses that generate less than 27 gallons or 220 pounds of hazardous waste per month are eligible to use Santa Clara County's Small Business Hazardous Waste Disposal Program. Call (408) 299-7300 for a quote, more information or guidance on disposal.

- Place portable toilets away from storm drains. Make sure portable toilets are in good working order. Check frequently for leaks.

Materials/Waste Handling

- Practice Source Reduction – minimize waste when you order materials. Order only the amount you need to finish the job.
- Use recyclable materials whenever possible. Arrange for pick-up of recyclable materials such as concrete, asphalt, scrap metal, solvents, degreasers, cleared vegetation, paper, rock, and vehicle maintenance materials such as used oil, antifreeze, batteries, and tires.
- Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

Permits

- In addition to local grading and building permits, you will need to obtain coverage under the City's General Construction Activity Stormwater Permit if your construction site's disturbed area totals 1 acre or more. Information on the General Permit can be obtained from the Regional Water Quality Control Board.

- San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300. You may be able to discharge to the sanitary sewer by running the hose to a utility sink or sewer pipe clean-out.
- Do not use copper-based algaecides. Control algae with chlorine or other alternatives, such as sodium bromide.

Filter Cleaning

- Never clean a filter in the street or near a storm drain. Rinse cartridge and diatomaceous earth filters onto a dirt area, and spade filter residue into soil. Dispose of spent diatomaceous earth in the garbage.
- If there is no suitable dirt call San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300 for instructions on discharging filter backwash or rinse water to the sanitary sewer.

XI-16-14 Enforcement and Penalties

(a) Criminal Penalties. Violations of the provisions of this Chapter shall be subject to criminal penalties as provided in Section 11-4.09-1 of this Code.

(b) Judicial Civil Penalties. Any person who intentionally or negligently violates any provision of this Chapter or any provision of any permit or certificate issued pursuant to this Chapter shall be civilly liable to the city in a sum not to exceed twenty-five thousand dollars per day for each day in which such violation occurs.

(c) Administrative Citations. When the City Manager and/or his or her designee determines that one or more violations of this Chapter have occurred an administrative citation may be issued pursuant to the procedures set forth in Sections V-500-8.00 through V-500-8.06. The schedule of fines for administrative citations issued for violations of this Chapter shall be set forth in the schedule of fines established by resolution of the City Council.

(d) Notice of Noncompliance. If the severity of the violation warrants immediate action, a Notice of Noncompliance or Stop Work Notice shall be issued, permits may be suspended or revoked. Stormwater Pollution Prevention Plans may be found in noncompliance, and corrective actions may be implemented in accordance with Section 11 of this Chapter. For all other cases, including those sites or projects where a stormwater pollution prevention plan is not required, the City Manager or his or her designee shall issue a Notice of Noncompliance that shall enumerate the violations found. The City Manager or his or her designee shall order compliance by a date or hour certain at his or her discretion. If the violations are not abated in the time period identified in the Notice of Noncompliance, the site shall be deemed to be in noncompliance with federal, State and local laws and the City Manager or his or her designee shall have the authority to issue a Stop Work Notice and/or deem the Stormwater Pollution Prevention Plan inadequate. If a Stop Work Notice is issued, corrective actions must be performed until the site has achieved compliance. Corrective actions may include revision and resubmission of any Plan, including, but not limited to, Stormwater Pollution Prevention Plan, Erosion Control Plan or Grading Plan. The City Manager or his or her designee may also require a discharger that has violated any discharge limits contained in this Chapter to install a temporary system for the capture, testing, and release of stormwater.

(e) Suspension of Utility Service. The City may, without prior notice, suspend water service, sanitary sewer service, and/or storm drain discharge access to a person discharging to the storm drain system when such suspension is necessary to stop an actual or threatened discharge which presents, or may present, imminent and substantial danger to the environment or to the health or welfare of persons; or presents, or may present, imminent and substantial danger to the storm drain system.

(f) For construction projects where a total of three or more Stop Work Notices and Notices of Noncompliance for urban runoff violations have been issued, the City Manager or his or her designee may require the contractor to hire a Qualified SWPPP Developer (QSD) or Qualified SWPPP Practitioner (QSP) within three business days. The QSD/QSP shall establish effective BMPs, provide guidance for improvement for the duration of the project, and certify compliance. A Stop Work Notice shall be issued for failure to comply.

(g) Remedies Cumulative. The remedies provided in this section are cumulative and not exclusive, and shall be in addition to any other penalty provided for in this Chapter and shall be in addition to all other remedies available to the City under State and federal law.

PROJECT ADDRESS:
1392 HILLVIEW DR.,
MILPITAS CA. 95035

PROJECT NAME:
DETACHED ADU

BLUEPRINT FOR A CLEAN BAY
BUILDING & SAFETY DEPARTMENT

SHEET
CB-1



**2022 CALGREEN
MANDATORY MEASURES
CHECKLIST
(RESIDENTIAL)**

This checklist applies to newly constructed buildings, and additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. (301.1.1)

Paraphrased references are to the noted section of the 2022 California Green Building Code, unless stated otherwise.

Feature or Measure	Required
RESIDENTIAL MANDATORY MEASURES	
Site Development (4.106)	
Projects less than one acre: Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction.	
Projects one acre or more: Newly constructed projects or additions shall comply with Milpitas Municipal Code Title 2 Chapter 13 for erosion and sediment controls, the City of Milpitas Enforcement Response Plan for Construction Site Control, and the California Regional Water Quality Control Board San Francisco Bay Region Municipal Regional Stormwater NPDES Permit requirements.	
Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings.	
Electric vehicle (EV) charging for new construction. New construction shall comply with sec. 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with California Electrical Code (CEC), Article 625.	
New one- and two-family dwellings and townhouses with private garages. Each dwelling unit shall be installed with listed raceways capable of supporting EVSE.	
New multifamily dwellings, hotels, and motels. EV Capable. 10% of the total parking spaces on a building site shall be EV spaces capable of supporting future Level II EVSE.	
EV Ready. 25% of the total parking spaces shall be equipped with low power Level 2 EV charging receptacles.	
20 or more units. 5% of the total parking spaces shall be equipped with Level 2 EVSE.	
ENERGY EFFICIENCY (4.201)	
For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.	
WATER EFFICIENCY AND CONSERVATION	
Indoor Water Use (4.303)	
All noncompliant plumbing fixtures in any single-family and multi-family residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to final inspection. (See also California Civil Code sec. 1101.4 and 1101.5.)	
Water closets. The effective flush volume of all water closets shall not exceed 1.28 gpf. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.	
Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gpf, and other urinals shall not exceed 0.5 gpf.	

Single showerheads. Showerheads shall have a max. flow rate of not more than 1.8 gpm at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.	
Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gpm at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.	
Residential lavatory faucets. The max. flow rate of residential lavatory faucets shall not exceed 1.2 gpm at 60 psi. The min. flow rate of residential lavatory faucets shall not be less than 0.8 gpm at 20 psi.	
Lavatory faucets in common and public use areas. The max. flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gpm at 60 psi.	
Metering faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.	
Kitchen faucets. The max. flow rate of kitchen faucets shall not exceed 1.8 gpm at 60 psi.	
Outdoor Water Use (4.304)	
Outdoor potable water use in landscape areas. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.	
Water Reuse Systems (4.305)	
(RESERVED)	
MATERIAL CONSERVATION AND RESOURCE EFFICIENCY	
Enhanced Durability and reduced Maintenance (4.406)	
Rodent proofing. Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the enforcing agency.	
Construction Waste Reduction, Disposal and Recycling (4.408)	
Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either sec. 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.	
Documentation. Documentation shall be provided to the City of Milpitas Solid Waste Division which demonstrates compliance prior to final inspection.	
Building Maintenance and Operation (4.410)	
O&M Manual. An operation and maintenance manual shall be available in the building at the time of final inspection.	
Recycling by Occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage, and collection of nonhazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.	
ENVIRONMENTAL QUALITY	
Fireplaces (4.503)	
Bay Area Air Quality Management District. Only gas fireplaces, pellet-fueled devices, or E.P.A. certified wood-burning devices may be installed in new buildings, added to or replace wood-burning devices in existing buildings, or be used when reconstructing or repairing a wood-burning device [Milpitas Municipal Code II-15].	
Gas fireplace shall be a direct-vent sealed-combustion type. Woodstove or pellet stove shall comply with US EPA New Source Performance Standards (NSPS) emission limits.	

Single showerheads. Showerheads shall have a max. flow rate of not more than 1.8 gpm at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.	
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Water Reuse Systems (4.305)	
(RESERVED)	
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Enhanced Durability and reduced Maintenance (4.406)	
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DRAWN BY
DESIGN & CONSTRUCTION GR
942 Cheswick dr, San Jose CA 95121
Designer: Harrison Nguyen
Contact: (408) 990- 6617
hnharrison2@gmail.com

PROJECT OWNER:
THANH NGUYEN
1392 Hiview Dr,
Milpitas CA, 95035
(408) 482-7479
00thanhnguyen@gmail.com

PROJECT NAME:
DETACHED 2 STORY ADU
2022 CALGREEN RESIDENTIAL
CHECKLIST

DRAWING DATE:
Jan 01, 23 by HN

NO.	DATE	REVISION
1	1/1/23	HN
2		
3		
4		
5		
6		

SHEET 6 OF 14

SH 6

GENERAL NOTES

- THE BUILDING PLANS ARE NOT INTENDED TO BE COMPREHENSIVE AND IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO NOTIFY THE OWNER AND / OR THE DESIGNER OR ANY NECESSARY CLARIFICATIONS OR MODIFICATIONS.
- ALL INFORMATION PERTAINING TO THE SITE SHALL REMAIN THE OWNERS RESPONSIBILITY. SITE INFORMATION SHALL INCLUDE LEGAL DESCRIPTION, DEED RESTRICTIONS, EASEMENTS, SITE SURVEYS, STREET AND UTILITY IMPROVEMENTS. GEOTECHNICAL INVESTIGATIONS AND REPORTS, GRADING AND EXCAVATION, LANDSCAPING, DRAINAGE, AND ALL RELATED DATA.
- ALL WORK CONNECTED WITH THIS PROJECT SHALL BE DONE IN PROFESSIONAL MANNER IN ACCORDANCE WITH THE TRADITIONALLY AND LEGALLY DEFINED "BEST ACCEPTED PRACTICE" OF THE TRADE INVOLVED. ADDITIONALLY, ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH BUILDING CODE: THE CITY HAS ADOPTED THE: 2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA ELECTRICAL CODE

THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF HIS PERSONNEL. PUBLIC SAFETY AND COMPLIANCE WITH ALL STATE, LOCAL AND FEDERAL AGENCY.

THESE PLAN SHALL NOT BE REPRODUCED IN ANY WAY WITHOUT THE WRITTEN

ABBREVIATIONS

A & B	ABOVE AND BELOW	M.B.	MACHINE BOLT
A.B.	ANCHOR BOLTS	MEZ.	MEZZANINE
ABV.	ABOVE	MFG.	MANUFACTURING
ADJ.	ADJACENT	M.I.	MALLEABLE IRON
A.F.F.	ABOVE FINISH FLOOR	MIN	MINIMUM
A.P.A.	AMERICAN PLYWOOD ASSO.	MTD.	MOUNTED
ARCH	ARCHITECTURAL	(N)	NEW
B.F.W.	BALLOON FRAMED WALL	N	NORTH
BLD.	BUILDING	N/A	NOT APPLICABLE
BLK'G	BLOCKING	NAIL'G	NAILING
BM.	BEAM	N.E.	NORTHEAST
BN.	BOUNDARY NEILING	N.T.S.	NOT TO SCALE
BOTT	BOTTOM	N.W.	NORTHWEST
BRG	BEARING	O.C.	ON CENTER
C	CAMBER	O.H.	OPPOSITE HAND
CANT.	CANTILIVER	OPT.	OPTIONAL
C.J.	CEILING JOIST	O.S.B.	OREGON STRAD BOARD
CLG	CEILING	P.C'S	PIECES
CTR	CENTER	P.E.N.	PLYWOOD EDGE NAILING
CLR	CLEARANCE	PERIM.	PERIMETER
CONC	CONCRETE	PLT.	PLATE
C.M.U.	CON.MANSORY UNIT	PLC'S	PLYWOOD
CONN	CONNECT, CONNECTION	PLY'D	PRESSURE TREATED
CONST	CONSTRUCTION	P.T.	PLYWOOD
CONT	CONTINUOUS	RAF.	RAFTERS
CS'K	COUNTERSINK	RDWD.	REDWOOD
C.T.	COLLAR TIE	REQ'D	REQUIRED
DEBL	DOUBLE	REQ'T	REQUIRED
DET	DETAIL	RET.	RETAINING
D.F.	DOUGLAS FIR	RF.	ROOF
DIA	DIAGONAL	S.A.D.	SEE ARCH. DRW'GS
DIAPH	DIAPHRAGM	S.G.E.	STRUCTURAL GABLE END
DIR	DIRECTION	S.B.	STRONG BACK
D.R.	DOOR	SCH.	SCHEDULE
D.F.	DOOR FRAME	S.E.	SOUTHEAST
DWG	DRAWING	SEC.	SECTION
E	EAST	SIM.	SIMILAR
EA	EACH	SHT.	SHEET
E.F.	EACH FACE	SHT'G	SHEATHING
ELEV	ELEVATION	SIMP.	SIMPSON COMPANY
EMB	EMBEDMENT	SPC'G	SPACING
E.N.	EDGE NAILING	SPECS	SPECIFICATIONS
EQ.	EQUAL	SQ.	SQUARE
E.W.	EACH WAY	S.S.D.	SEE STR. DRW'GS
E.W.E.F.	EACH WAY EACH FACE	STL	STEEL
EXP	EXPANSION	STR.	STRUCTURAL
EX.	EXISTING	S.W.	SOUTHWEST
F.F.	FINISH FLOOR	S.W.S.	SHEAR WALL SCHEDULE
F.H.	FULL HEIGHT	S.W.T.	SHEAR WALL TYPE
F.H.O.B.	FULL HEIGHT OF BLDG.	T&B	TOP AND BOTTOM
F.W.O.B.	FULL WIDTH OF BLDG.	T&G	TONGUE AND GROOVE
FIN	FINISH	T.B.F.V.	TO BE FIELD VERIFIED
FLR	FLOOR	T.D.	TIEDOWN OR HOLDOWN
F.J.	FLOOR JOIST	T.D.S.	TIEDOWN SCHEDULE
F.L.O.M.	FULL LENGTH OF MEMBER	T.N.	TOE NAIL
F.N.	FACE NAILED	T.O.	TOP OF
F.O.S.	FACE STUDS	T.O.C.	TOP OF CONCRETE
F.O.C.	FACE OF CONCRETE	T.O.S.F.	TPO OF SUB-FLOOR
FNDN.	FOUNDATION	T.O.W.	TOP OF WALL
F.P.	FIREPLACE	TOT	TOTAL
FRAM'G	FRAMING	TYP.	TYPICAL
FT.	FEET	U.N.O.	UNLESS NOTED OTHERWISE
FTG.	FOOTING	U.O.N.	UNLESS OTHERWISE NOTED
GALV.	GALVANIZED	W	WEST
GAR.	GARAGE	WDW	WINDOW
GEN.	GENERAL	S.W.F.	STEEL WIDE FLANGE
G.L.B.	GLU-LAM BEAM	W.W.F.	WELDED WIRE FABRIC
GR.	GRADE	W/	WITH
H.D.G.	HOT DIPPED GALVANIZED	W/O	WITHOUT
HDR.	HEADER	@	AT
HT.	HEIGHT	'	FEET
INFO.	INFORMATION	"	INCHES
INT.	INTERIOR		PARALLEL
J.H.	JOIST HANGER	⊥	PERPENDICULAR
JNT	JOINT	&	AND
JST	JOIST	∅	DIAMETER
K.P.	KING POST	CL	CENTER LINE
LOC.	LOCATION	U	HANGER
MANU.	MANUFACTURER	L	STEEL ANGLE
MAT'L	MATERIAL		
MAX.	MAXIMUM		

PROJECT DESIGN CRITERIA

GOVERNING BUILDING CODE	
2022 CALIFORNIA BUILDING CODE	
GENERAL PARAMETERS	
NUMBER OF STORIES	2
MAX HEIGHT (ABV. GRADE)	21.5'
ROOF	DL / LL 19 / 20 PSF
FLOOR	DL / LL 15 / 40 PSF
WALLS (INTERIOR)	DL 8 PSF
WALLS (EXTERIOR)	DL 17 PSF
GEOTECHNICAL PARAMETERS	
GEOTECHNICAL REPORT	NO
SOIL BEARING PRESSURE	1500 PSF
WIND DESIGN PARAMETERS	
DESIGN PROCEDURE	SIMPLIFIED, ASD
BASIC WIND SPEED	92 MPH
EXPOSURE	C
IMPORTANCE FACTOR	1.00
INTERNAL PRESSURE COEFF.	0.18
DESIGN WIND PRESSURE	11.53 PSF 00 TO 15 FEET 12.25 PSF 15 TO 20 FEET 12.84 PSF 20 TO 25 FEET
SEISMIC DESIGN PARAMETERS	
DESIGN PROCEDURE	EQUIV. FORCE
SITE CLASS	D
IMPORTANCE FACTOR	1.00
OCCUPANCY CATEGORY	II
MAPPED SPECTRAL RESPONSE	SS = 2.33 S1 = 0.905
SPECTRAL RESPONSE COEFFICIENT	SDS = 1.86 SD1 = 0.91
SEISMIC DESIGN CATEGORY	SDC = E
SEISMIC FORCE RESISTING SYSTEM	WOOD SHEAR WALL
RESPONSE MODIFICATION FACTOR	R = 6.5
SEISMIC RESPONSE COEFFICIENT:	Cs=0.287
ANALYSIS PROCEDURE USED	ASD

STRUCTURAL SHEET INDEX

S-0	STRUCTURAL TITLE
S-1	FOUNDATION FRAMING PLAN
S-2	MID FLOOR & ROOF FRAMING PLAN
SD-1	STANDARD DETAILS
SD-2	STANDARD DETAILS TO BE FIELD VERIFIED
SD-3	STANDARD DETAILS
FD-1	FOUNDATION DETAILS
WD-1	WOOD DETAILS

SPECIAL INSPECTION

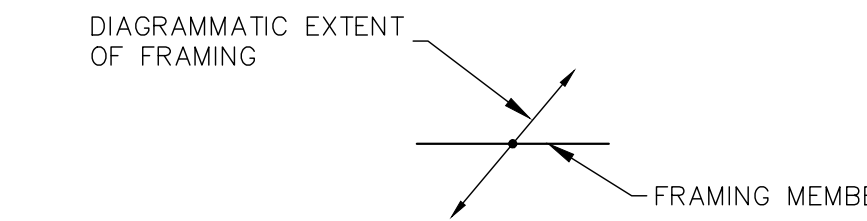
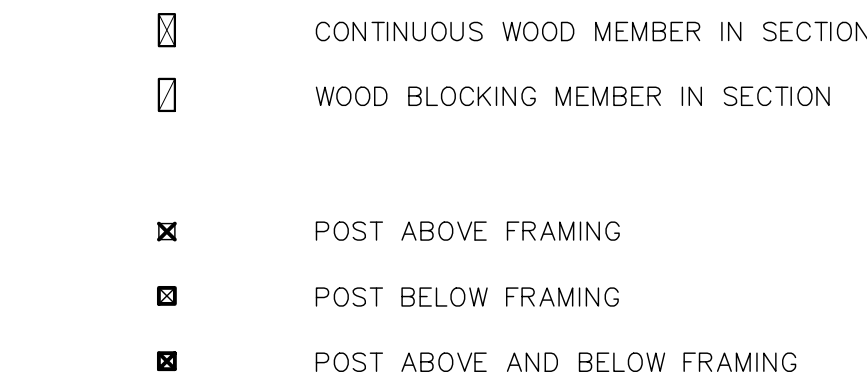
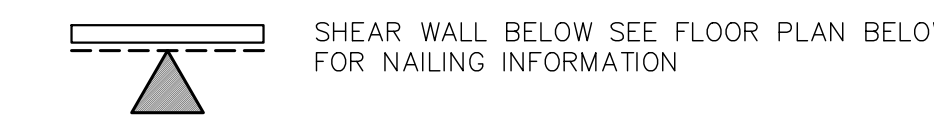
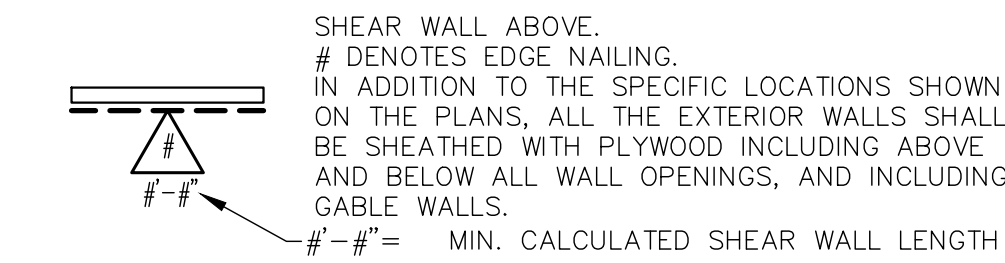
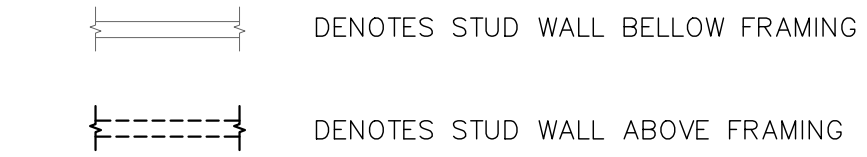
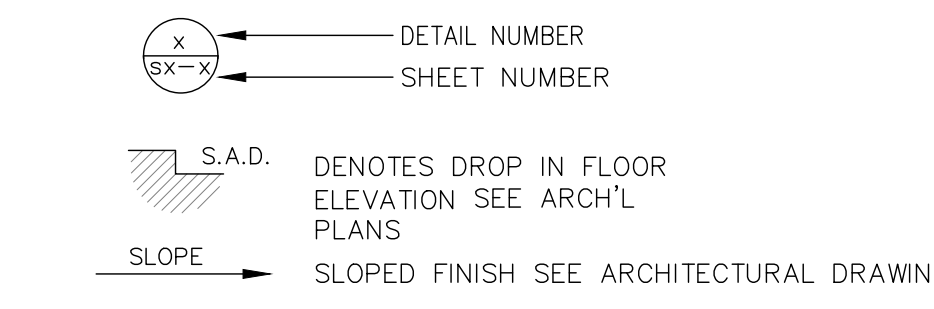
1.-SHEARWALL w/FASTENERS @4" O.C. OR LESS

FASTENING SCHEDULE TABLE 2304.10.1

Connection	Fastening	Location
1. Joist to sill or girder	3 - 8d common	toenail
2. Bridging to joist	2 - 8d common	toenail each end
3. 1" x 6" subfloor or less to each joist	2 - 8d common	face nail
4. Wider than 1" x 6" subfloor to each joist	3 - 8d common	face nail
5. 2" subfloor to joist or girder	2 - 16d common	blind and face nail
6. Side plate to joist blocking	16d @ 16" o/c	typical face nail
Side plate to joist or blocking of braced wall panel	3" - 16d @ 16" o/c	braced wall panels
7. Top plate to stud	2 - 16d common	end nail
8. Stud to sole plate	4 - 8d common	toenail
9. Double studs	2 - 16d common	end nail
10. Double top plates	16d common @ 24" o/c	face nail
11. Blocking between joists or rafters to top plate	16d common @ 16" o/c	typical face nail
12. Rim joist to top plate	8d @ 6" o/c	lap splice
13. Top plates, laps and intersections	2 - 16d common	face nail
14. Continuous header, two pieces	16d common	16" o/c along edge
15. Ceiling joists to plate	3 - 8d common	toenail
16. Continuous header to stud	4 - 8d common	toenail
17. Ceiling joists, laps over partitions (see Section 2308.10.4.1, Table 2308.10.4.1)	3 - 16d common min.	face nail
18. Ceiling joists parallel rafters (see Section 2308.10.4.1, Table 2308.10.4.1)	3 - 16d common min	face nail
19. Rafter to plate (see Section 2308.10.1, Table 2308.10.1)	3 - 8d common	toenail
20. 1" diagonal brace to each stud and plate	2 - 8d common	face nail
21. 1" x 8" sheathing to each bearing	3 - 8d common	face nail
22. Wider than 1" x 8" sheathing to each bearing	3 - 8d common	face nail
23. Built-up corner studs	16d common	24" o/c
24. Built-up girder and beams	20d common @ 32" o/c	face nail @ top and bottom staggered on opposite sides
25. 2" planks	2 - 20d common	face nail @ ends and @ ea. splice
26. Collar tie to rafter	16d common	at each bearing
27. Jack rafter to hip	3 - 10d common	face nail
28. Roof rafter to 2-by ridge beam	3 - 10d common	toenail
29. Joist to band joist	2 - 16d common	face nail
30. Ledger strip	3 - 16d common	face nail
31. Wood structural panels and partideboard. Subfloor, roof and wall sheathing (to framing)	8d	
Single Floor (combination subfloor-underlayment to framing)	10d	
32. Panel siding (to framing)	8d	
33. Fiberboard sheathing.	8d common	
34. Interior paneling	6d	

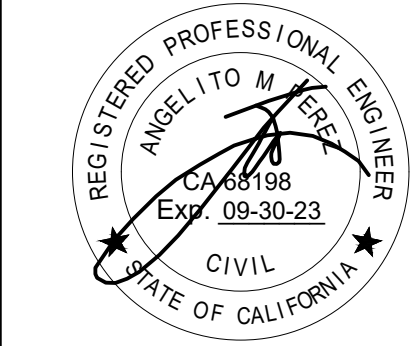
- COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.
- NAILS SPACED AT 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING.
- COMMON OR DEFORMED SHANK (6D - 2" X 0.113"; 8D - 2 1/2" X 0.131"; 10D - 3" X 0.148").
- COMMON (6D - 2" X 0.113"; 8D - 2 1/2" X 0.131"; 10D - 3" X 0.148").
- DEFORMED SHANK (6D - 2" X 0.113"; 8D - 2 1/2" X 0.131"; 10D - 3" X 0.148").
- CORROSION-RESISTANT SIDING (6D - 17/8" X 0.106"; 8D - 23/8" X 0.128") OR CASING (6D - 2" X 0.099"; 8D - 2 1/2" X 0.113") NAIL.
- FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED AS STRUCTURAL SHEATHING. SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS FOR NONSTRUCTURAL APPLICATIONS.
- CORROSION-RESISTANT ROOFING NAILS WITH 7/16-INCH-DIAMETER HEAD AND 1 1/2-INCH LENGTH FOR 1/2-INCH SHEATHING AND 1 3/4-INCH LENGTH FOR 25/32-INCH SHEATHING.
- CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16-INCH CROWN AND 1 1/8-INCH LENGTH FOR 1/2-INCH SHEATHING AND 1 1/2-INCH LENGTH FOR 25/32-INCH SHEATHING. PANEL SUPPORTS AT 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).
- CASING (1 1/2" X 0.080") OR FINISH (1 1/2" X 0.072") NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
- PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
- FOR ROOF SHEATHING APPLICATIONS, 8D NAILS (2 1/2" X 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.
- STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16 INCH.
- FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
- FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
- FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
- FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.

STRUCTURAL SYMBOLS



New ADU.
1392 North Hillview Drive, Milpitas, CA.

STAMP:



REVISION	DATE	DESCRIPTION
	02/19/2023	BUILDING SUBMITTAL

DATE: 06/19/2023
DRAWN BY: I.A.R.
DESIGNER BY: I.A.R.
SCALE: AS SHOW
JOB NO.: SBCE23003

STRUCTURAL TITLE

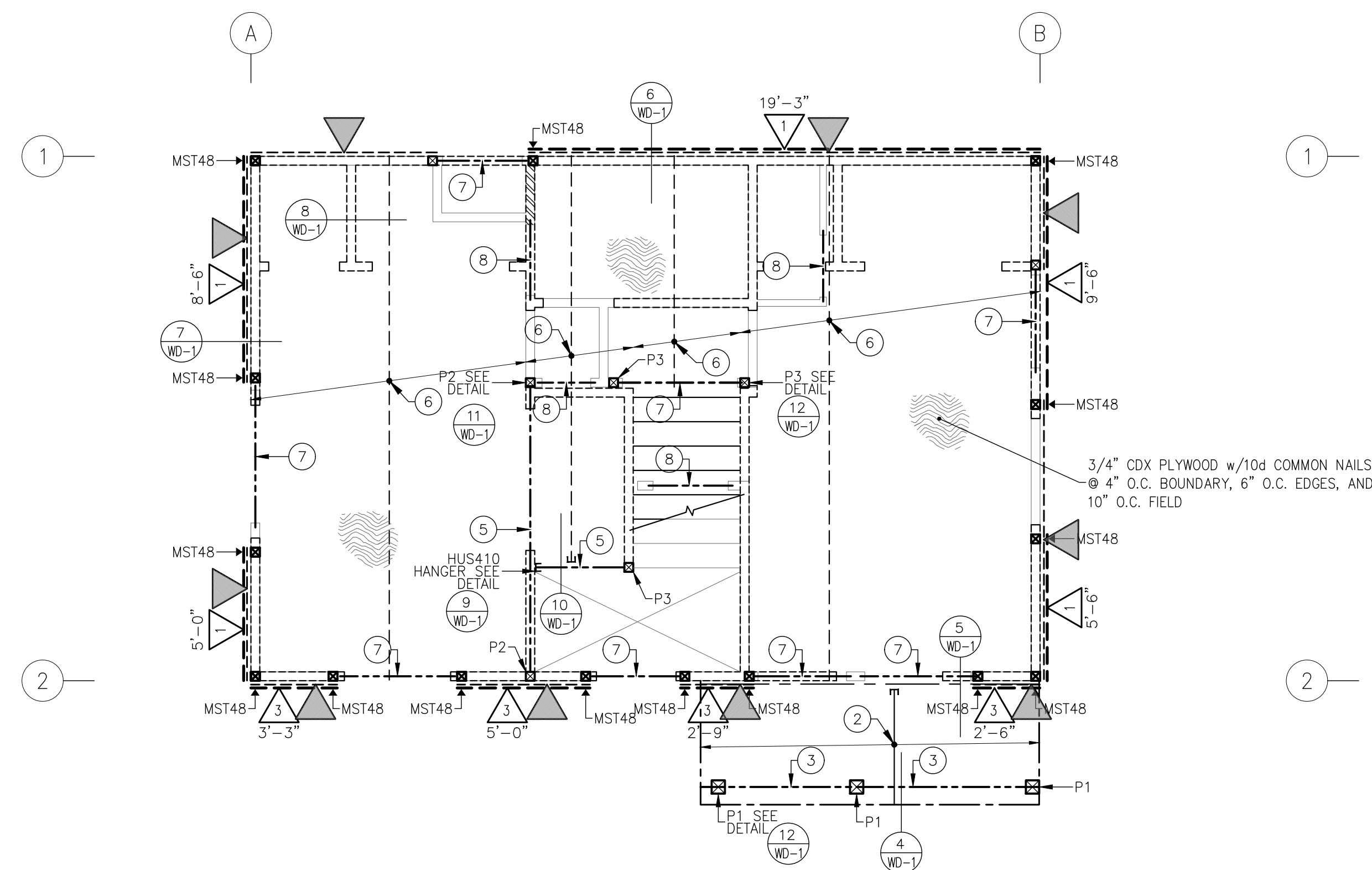
SHEET NO.
S-0

STRUCTURAL FRAMING SYMBOLS

- NEW RIDGE
- NEW BEAM OR HEADER
- ▼ DENOTES VERTICAL STRAP FROM UPPER WALL TO LOWER WALL OR FROM WALL TO BAM SEE DETAIL

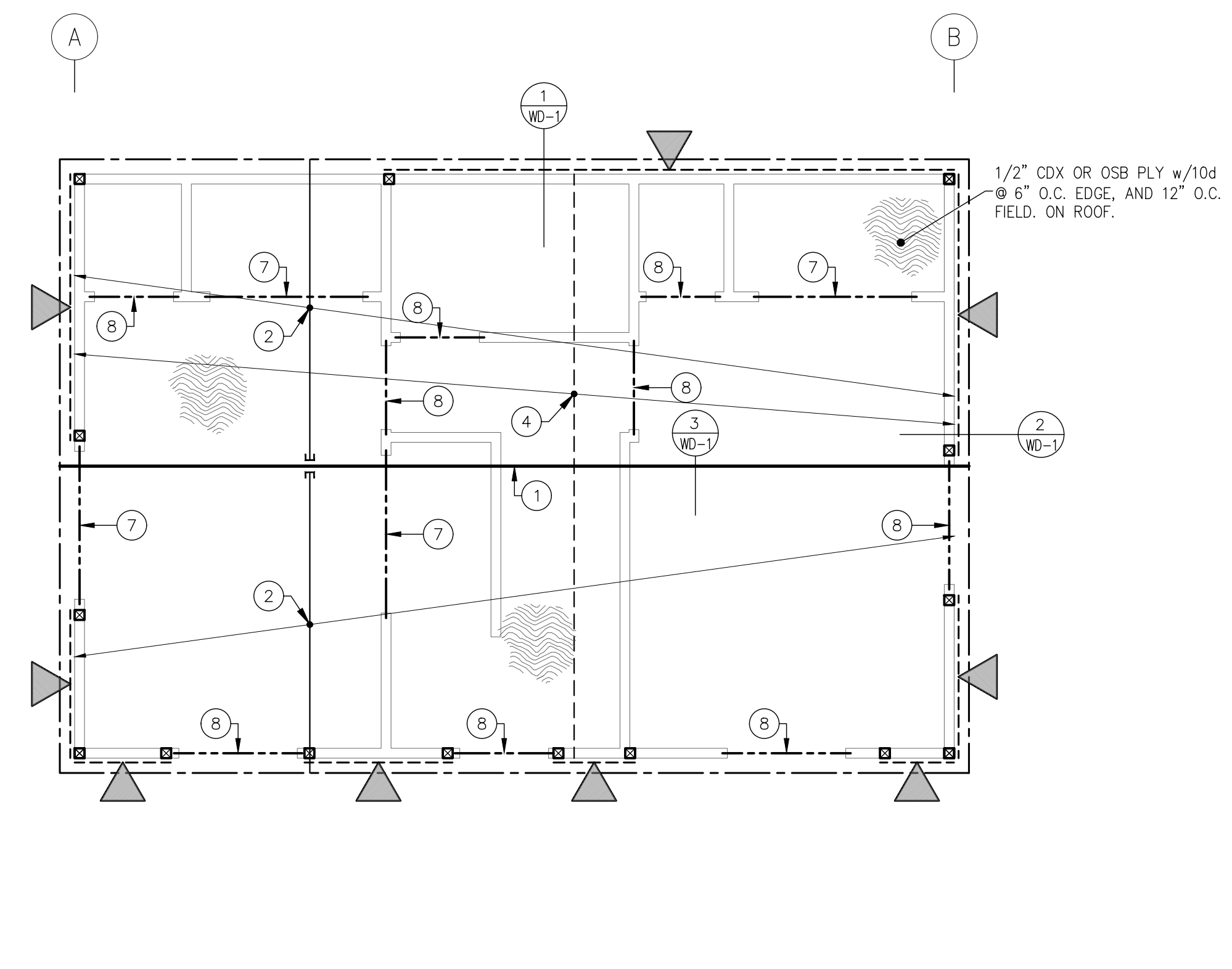
STRUCTURAL MEMBERS

1	RIDGE BOARD	2"x8" D.F.L.#2
2	ROOF RAFTER	2"x6" D.F.L.#2 @ 24" OC
3	CEILING BEAM	4"x6" D.F.L.#2 P.T. OR RDWD.
4	CEILING JOIST	2"x8" D.F.L.#2 @ 12" OC
5	FLOOR BEAM	3 1/2"x11 7/8" 2.2E PSL
6	FLOOR JOIST	11 7/8" TJI#210 @ 16" O.C.
7	HEADER BEAM	4"x8" D.F.L.#2
8	HEADER BEAM	4"x6" D.F.L.#2
P1	6"x6" D.F.L.#2 POST P.T. OR RDWD. w/LPCZ	
P2	4"x4" D.F.L.#2 POST w/(2) LPCZ	
P3	4"x4" D.F.L.#2 POST w/ LPCZ	



MID FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

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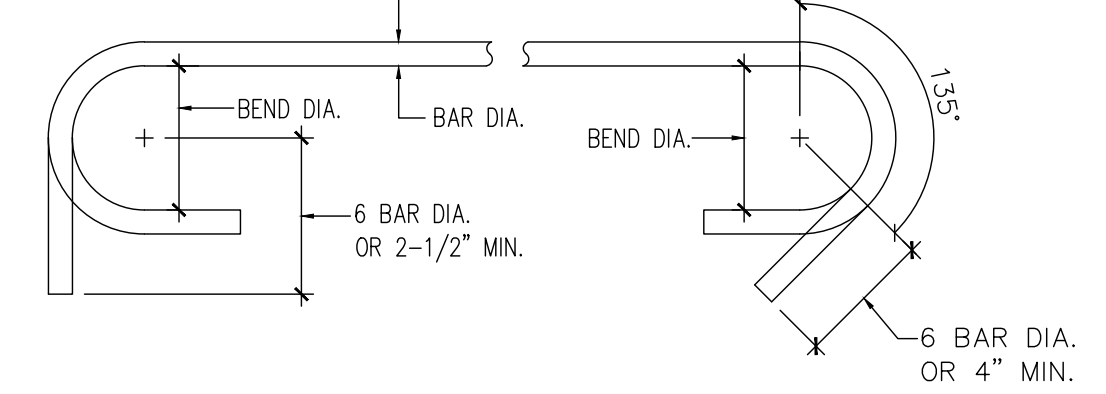
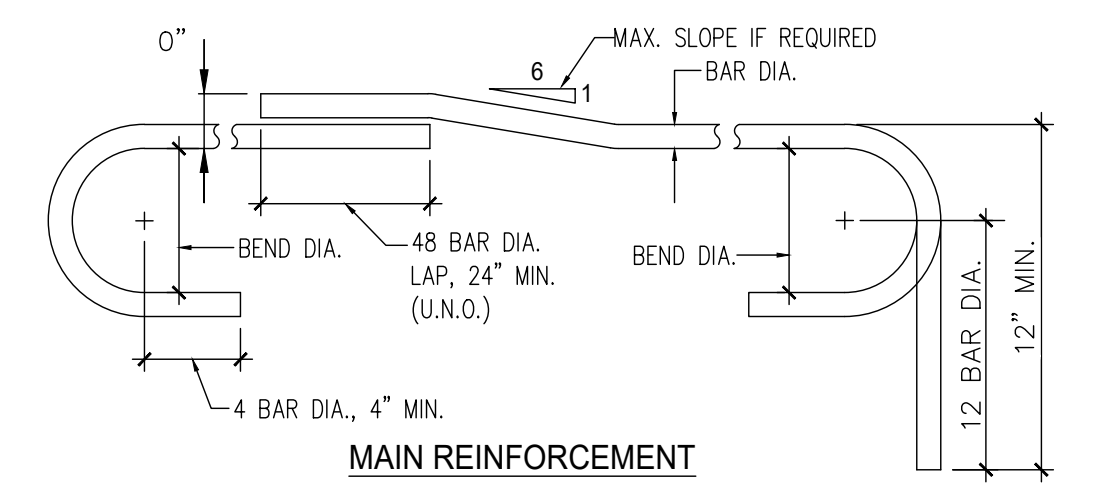
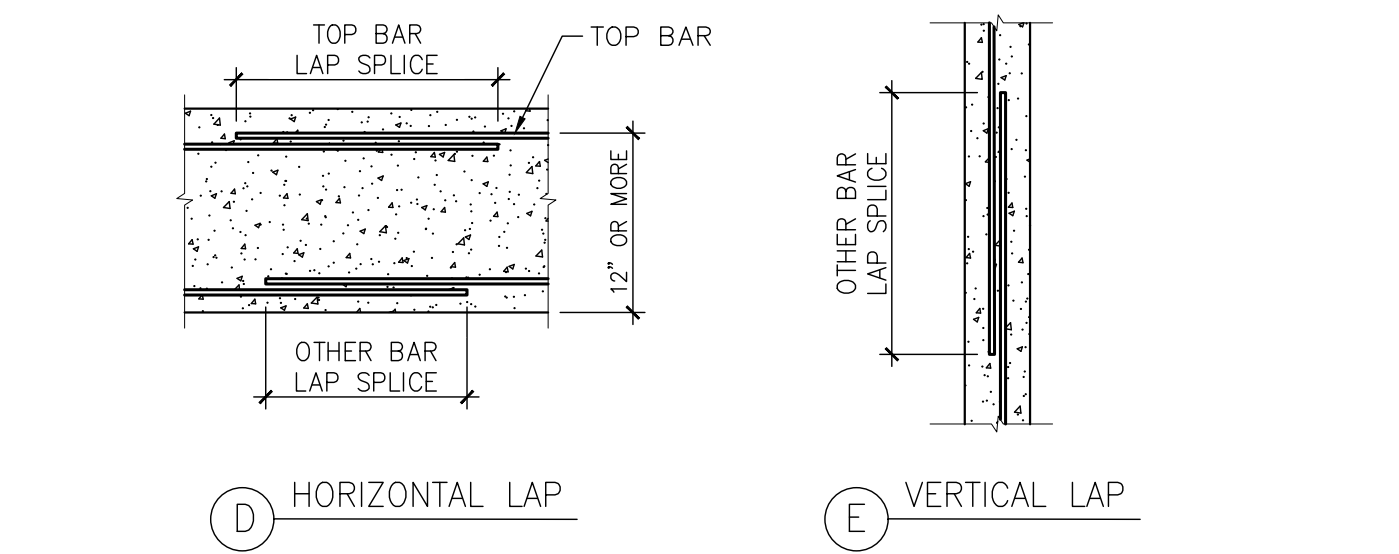
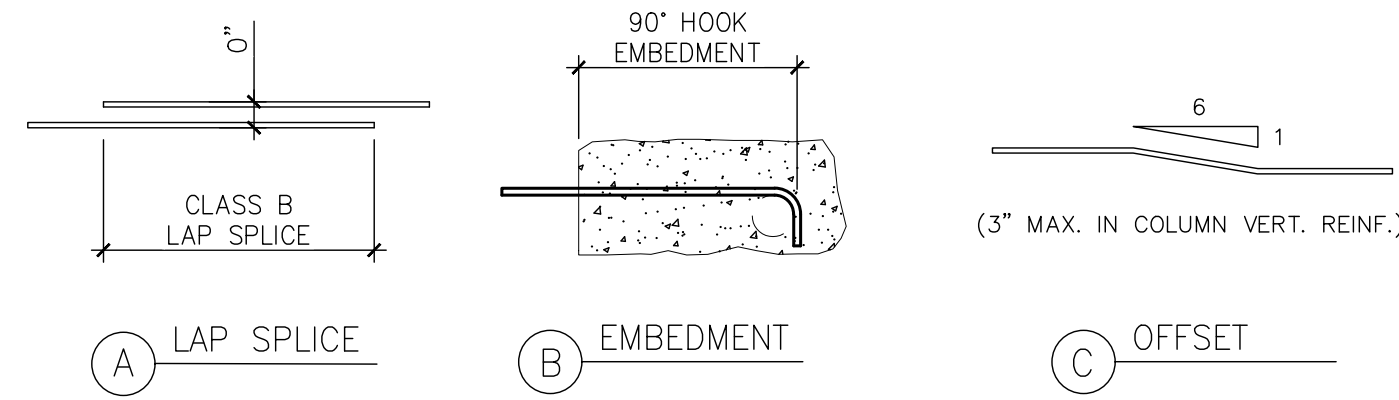
REVISION	DATE	DESCRIPTION
	02/19/2023	BUILDING SUBMITTAL

DATE: 06/19/2023
DRAWN BY: I.A.R.
DESIGNER BY: I.A.R.
SCALE: AS SHOW
JOB NO.: SBCE23003

MID FLOOR &
ROOF FRAMING
PLAN

SHEET NO.

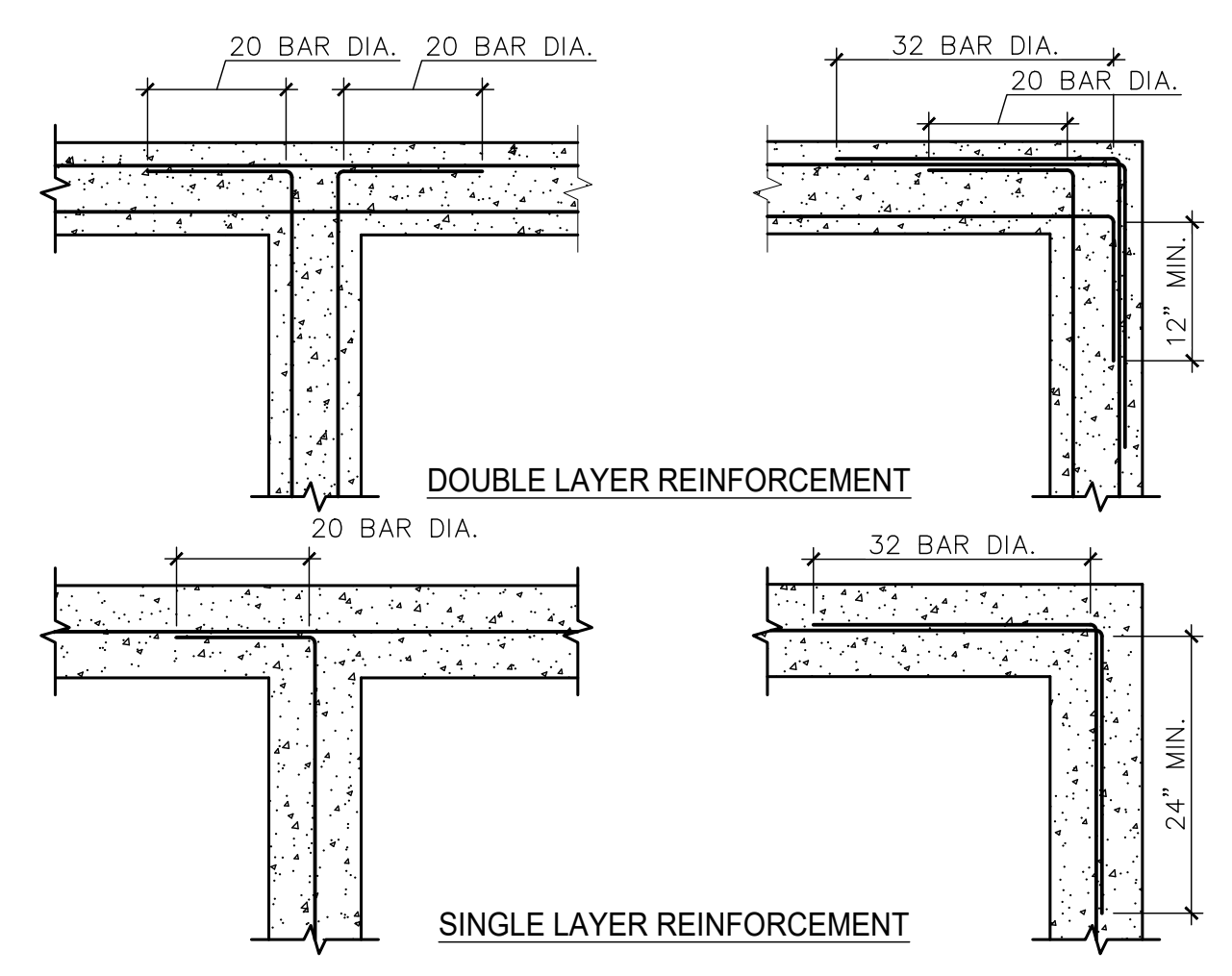
S-2



BAR SIZE	BEND DIA.	BAR SIZE	BEND DIA.
#3 to #8	6 BAR DIA.	#3 to #5	4 BAR DIA.
#9 to #11	8 BAR DIA.	OTHERS	SAME AS FOR MAIN REINF.

BAR SIZE	$f'_c=2500$			$f'_c=3000$			$f'_c=4000$		
	Ld	A	B	Ld	A	B	Ld	A	B
#3	18	18	23	16	16	21	14	14	18
#4	24	24	31	22	22	28	19	19	25
#5	30	30	39	27	27	36	24	24	31
#6	36	36	47	33	33	43	28	28	37
#7	53	53	68	48	48	62	42	42	54
#8	60	60	78	55	55	71	47	47	62
#9	68	68	88	62	62	80	54	54	70
#10	76	76	99	70	70	77	60	60	78
#11	85	85	110	90	90	100	67	67	87

- NOTES:
- FOR SLAB BARS, BOTTOM BEAM BARS, AND TEMPERATURE BARS IN SLABS, BEAMS, OR FOOTINGS WITH SPACING 6" OR MORE, USE 0.8 TIMES THE LENGTHS SHOWN, BUT NOT LESS THAN 1'-0".
 - FOR BARS WITH MORE THAN 1'-0" OF CONCRETE CAST BELOW THE DEVELOPMENT LENGTH OR SPLICE, USE 1.3 TIMES THE LENGTHS SHOWN.
 - IF MORE THAN 50% OF THE BARS ARE SPLICED WITHIN SPLICE LENGTH, USE CLASS 'B' LAP, OTHERWISE USE CLASS 'A' LAP.

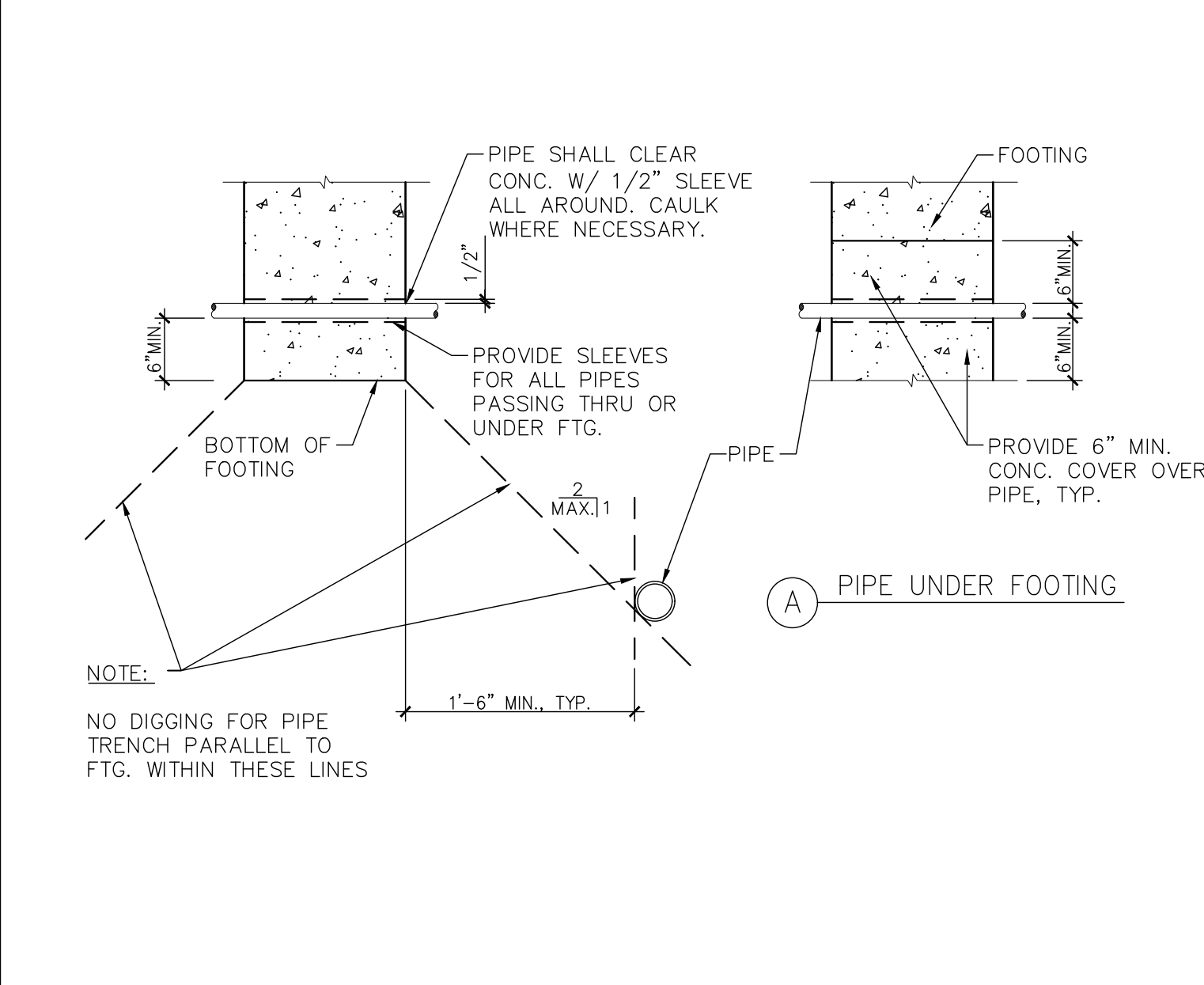


1 TYPICAL REINFORCEMENT EMBED, LAP SPLICE AND OFFSET SCALE: 3/4" = 1'-0"

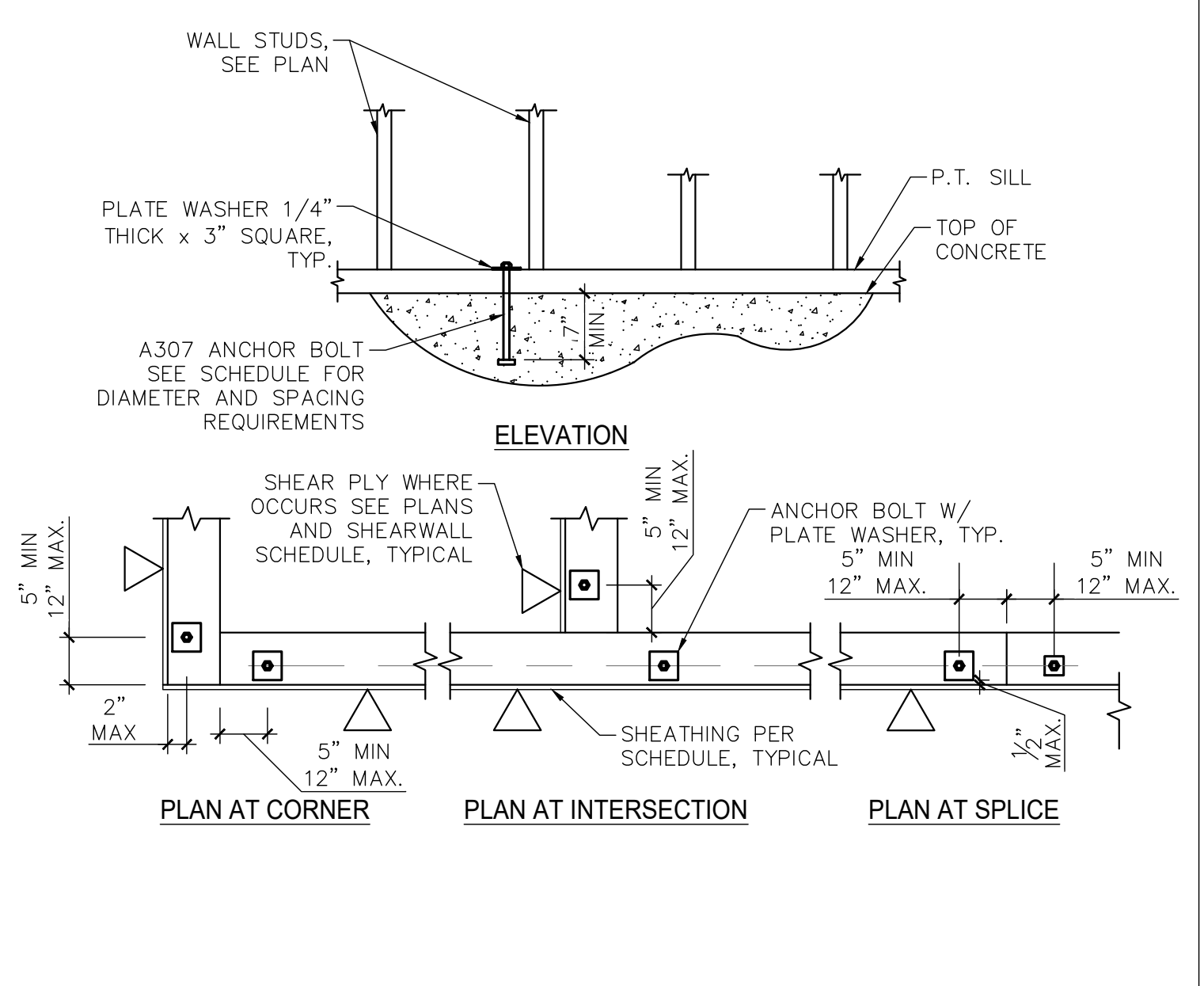
2 TYPICAL REINFORCING BAR BENDS AND TIES SCALE: 3/4" = 1'-0"

3 TYPICAL LAP SPLICE SCHEDULE SCALE: 3/4" = 1'-0"

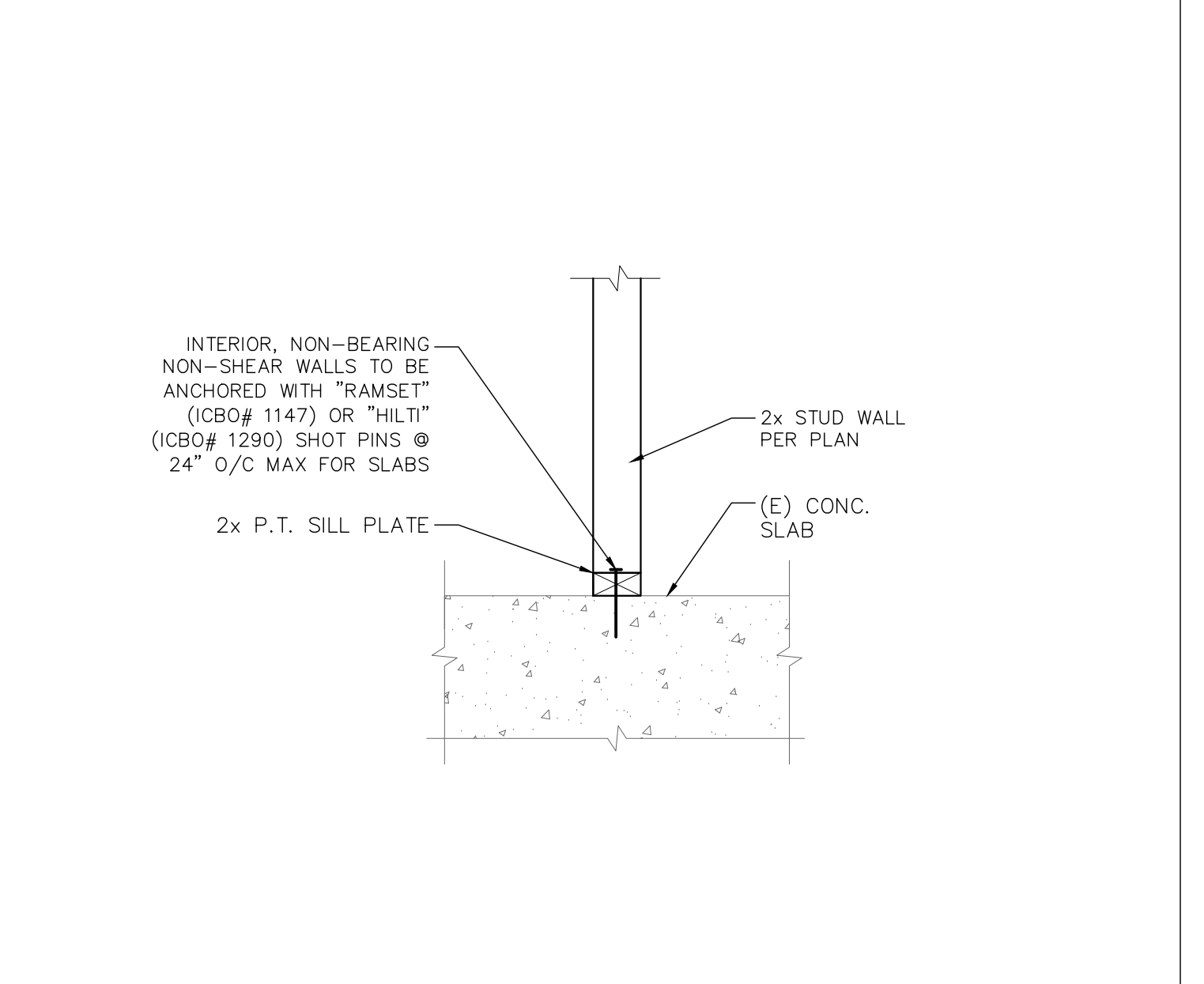
4 BAR LAPS AT CONCRETE INTERSECTIONS FOOTINGS & WALLS SCALE: 3/4" = 1'-0"



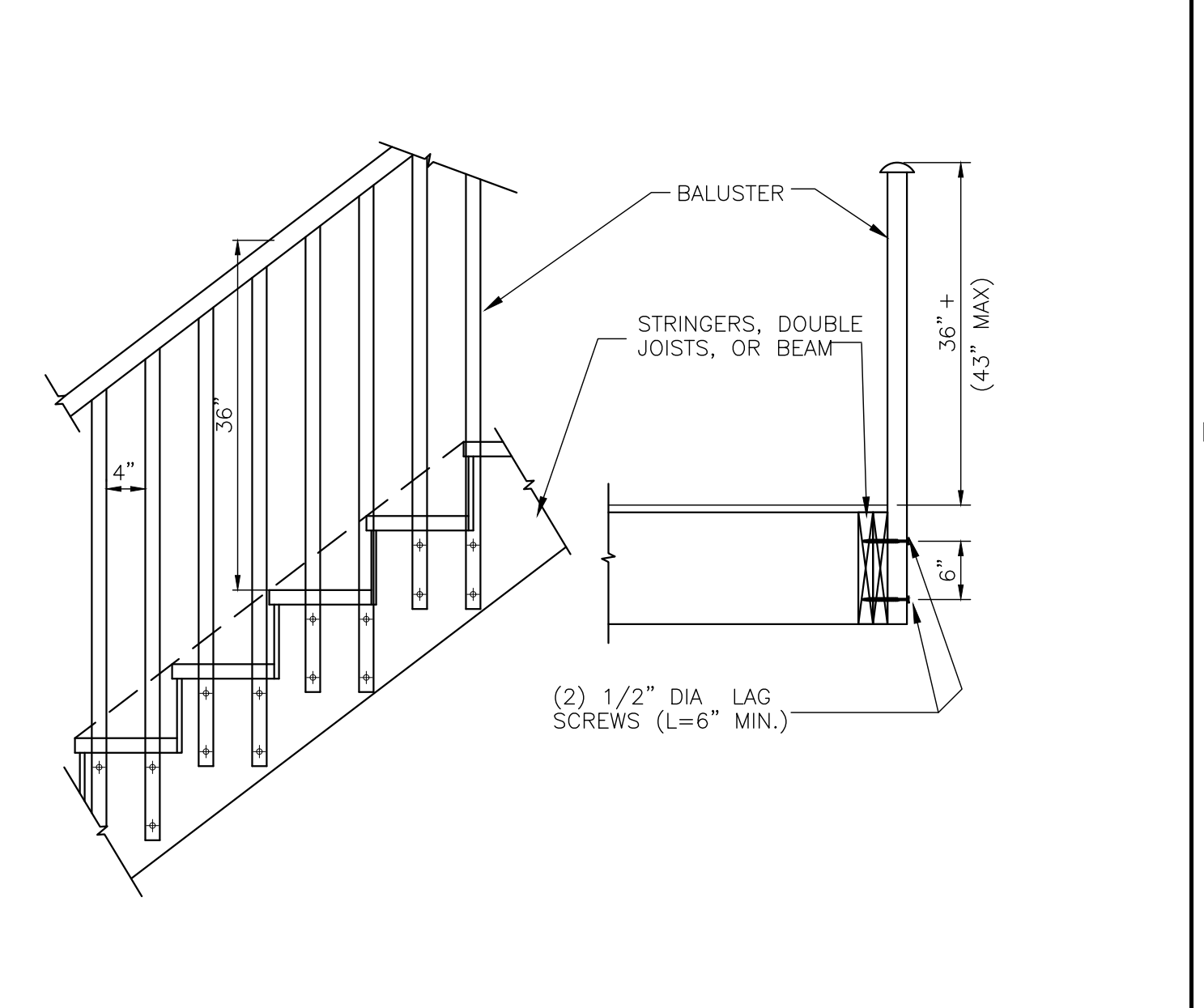
5 PIPE THRU FTG. AND PARALLEL TO FTG. SCALE: 3/4" = 1'-0"



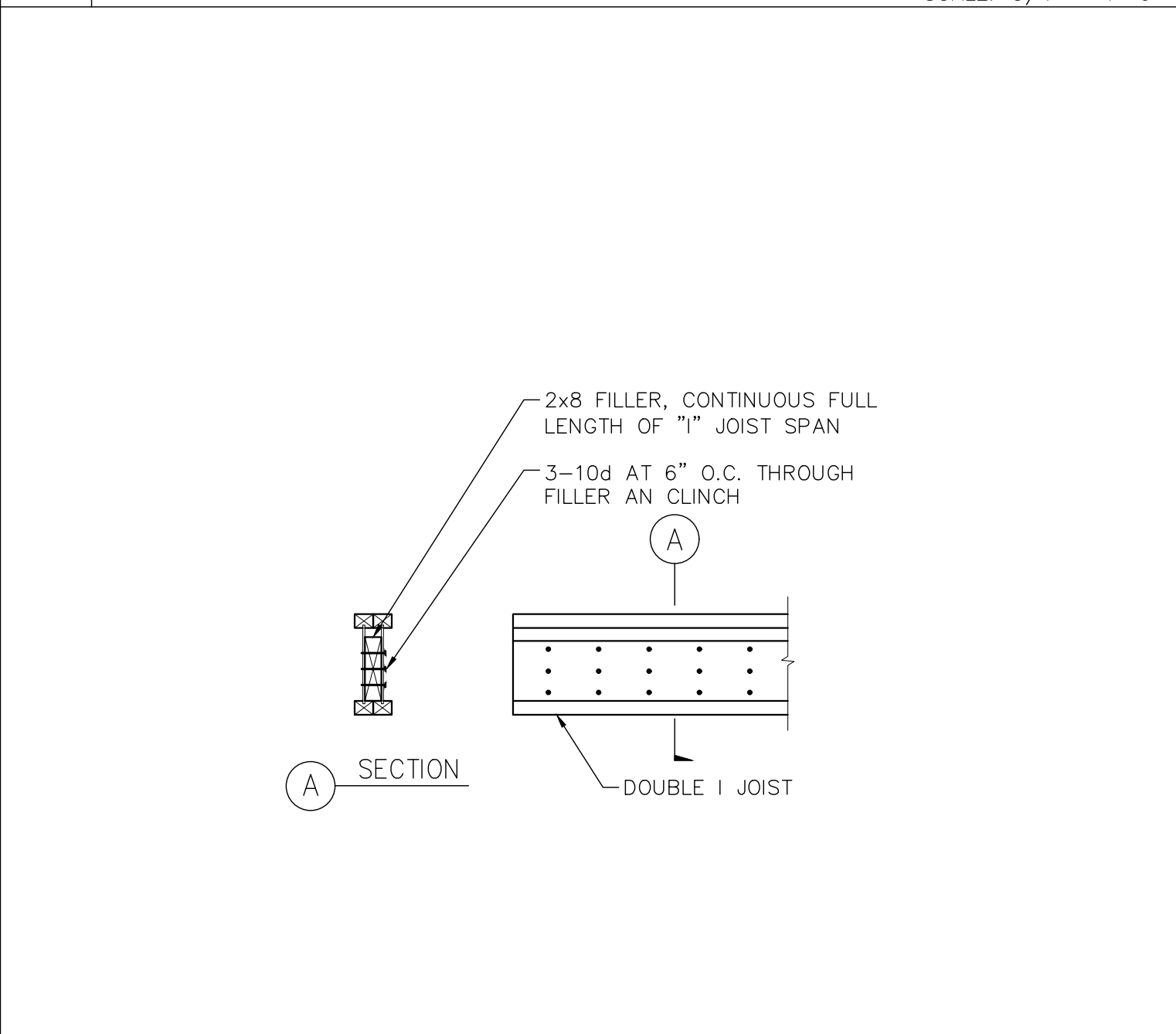
6 SILL PLATE ANCHOR BOLT REQUIREMENT SCALE: 3/4" = 1'-0"



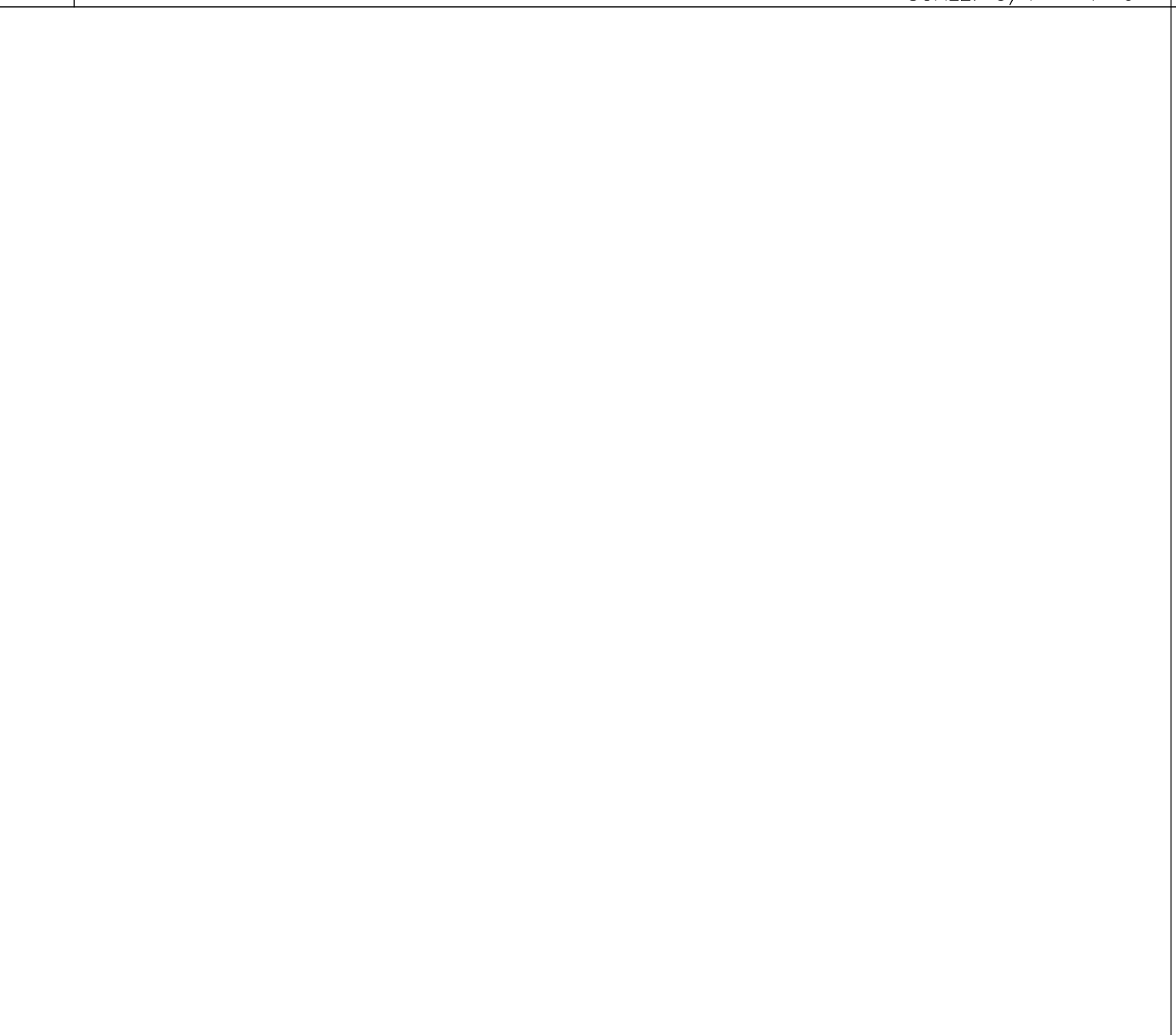
7 NON-BEARING WALL CONNECTION AT THIN SLAB SCALE: 3/4" = 1'-0"



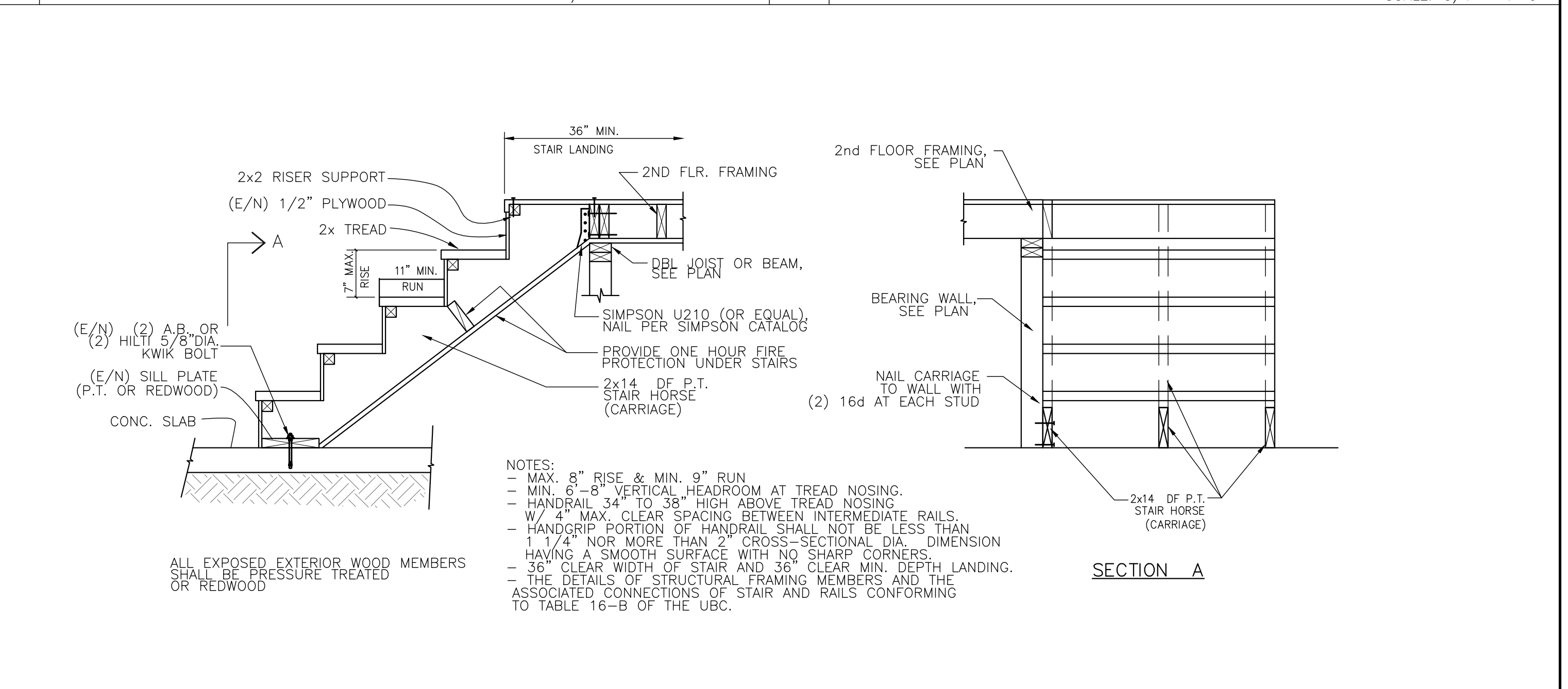
8 INTERIOR STAIR GUARD SCALE: 3/4" = 1'-0"



9 TYPICAL DOUBLE I-JOIST SCALE: 3/4" = 1'-0"



10 INTERIOR STAIR SCALE: 3/4" = 1'-0"



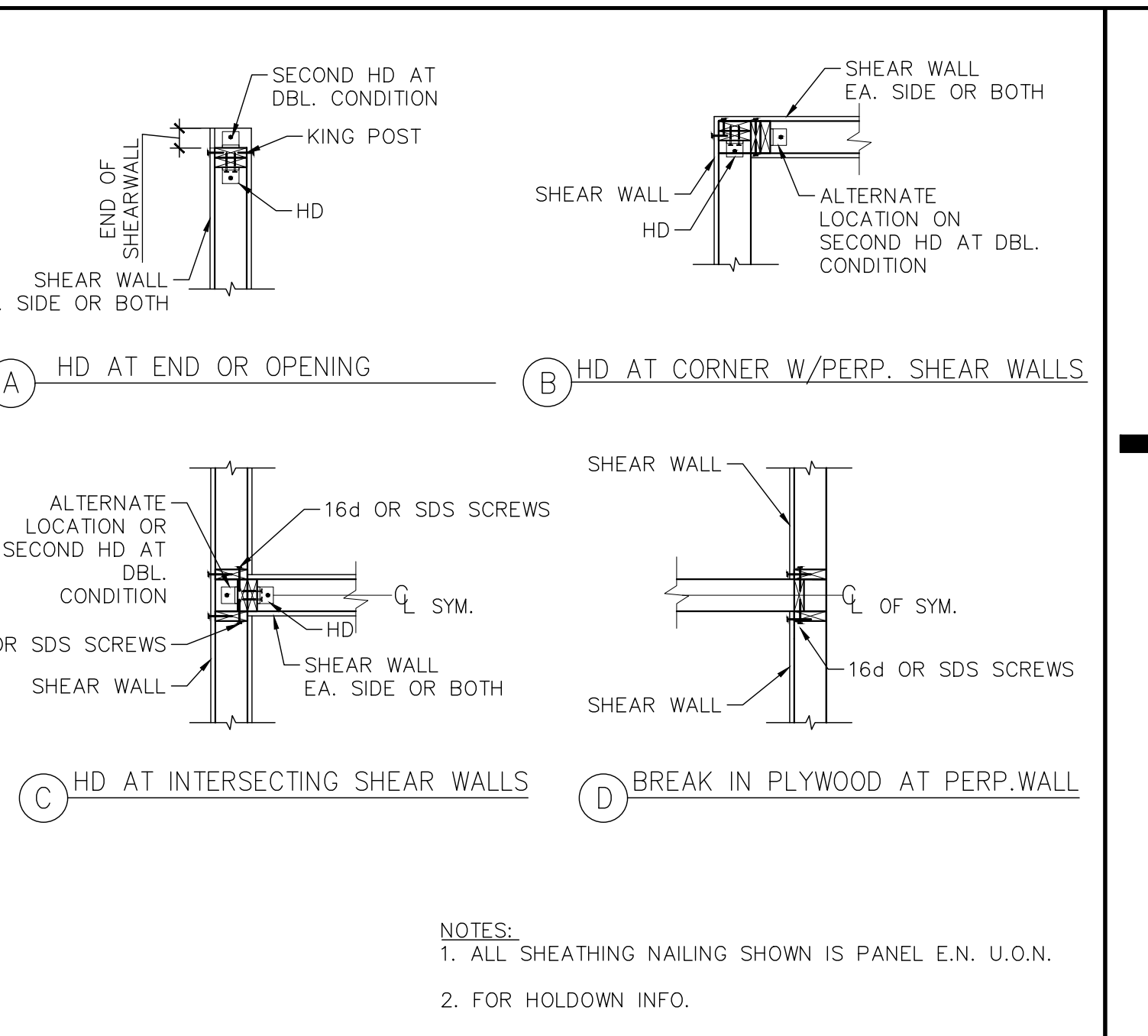
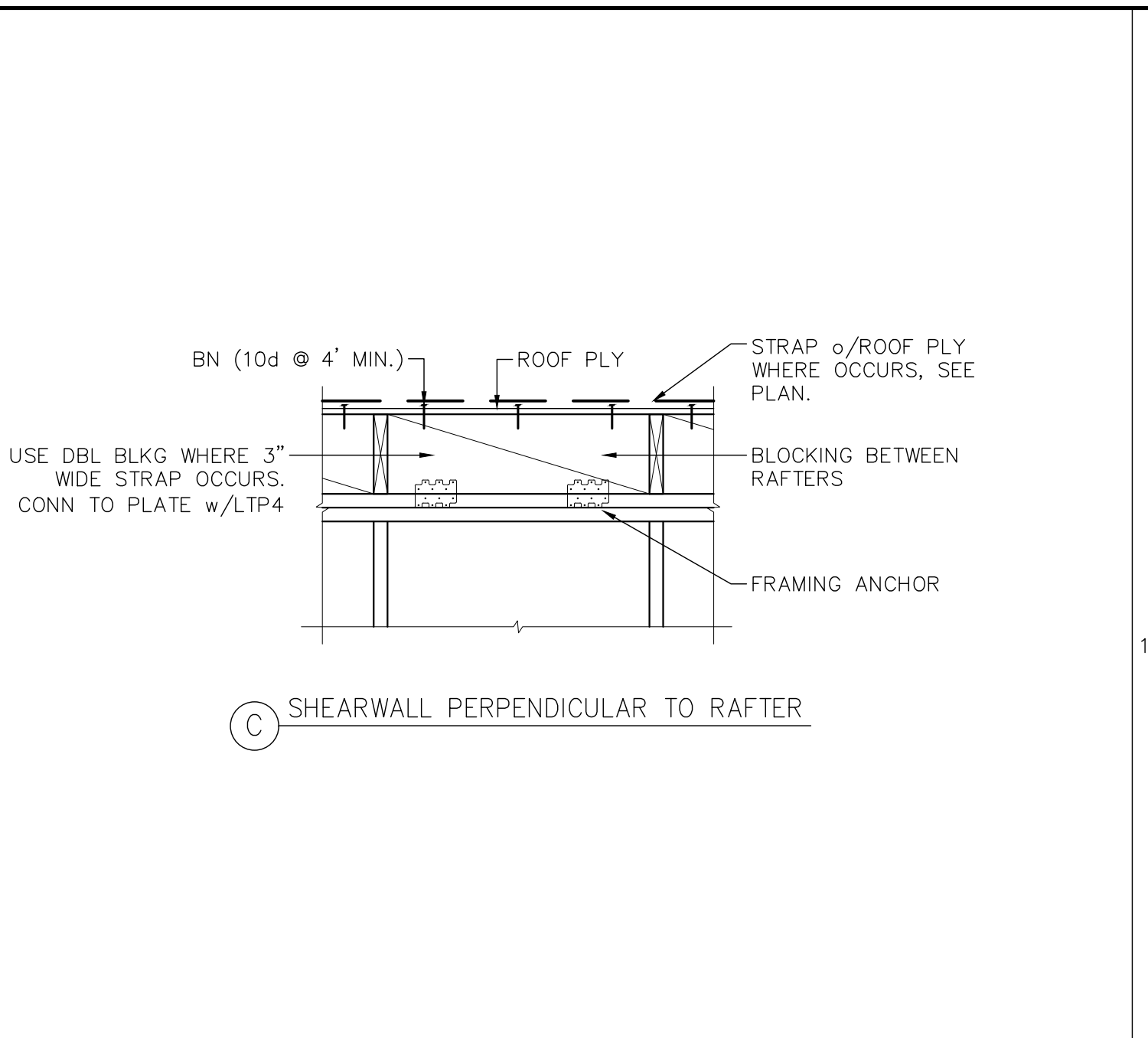
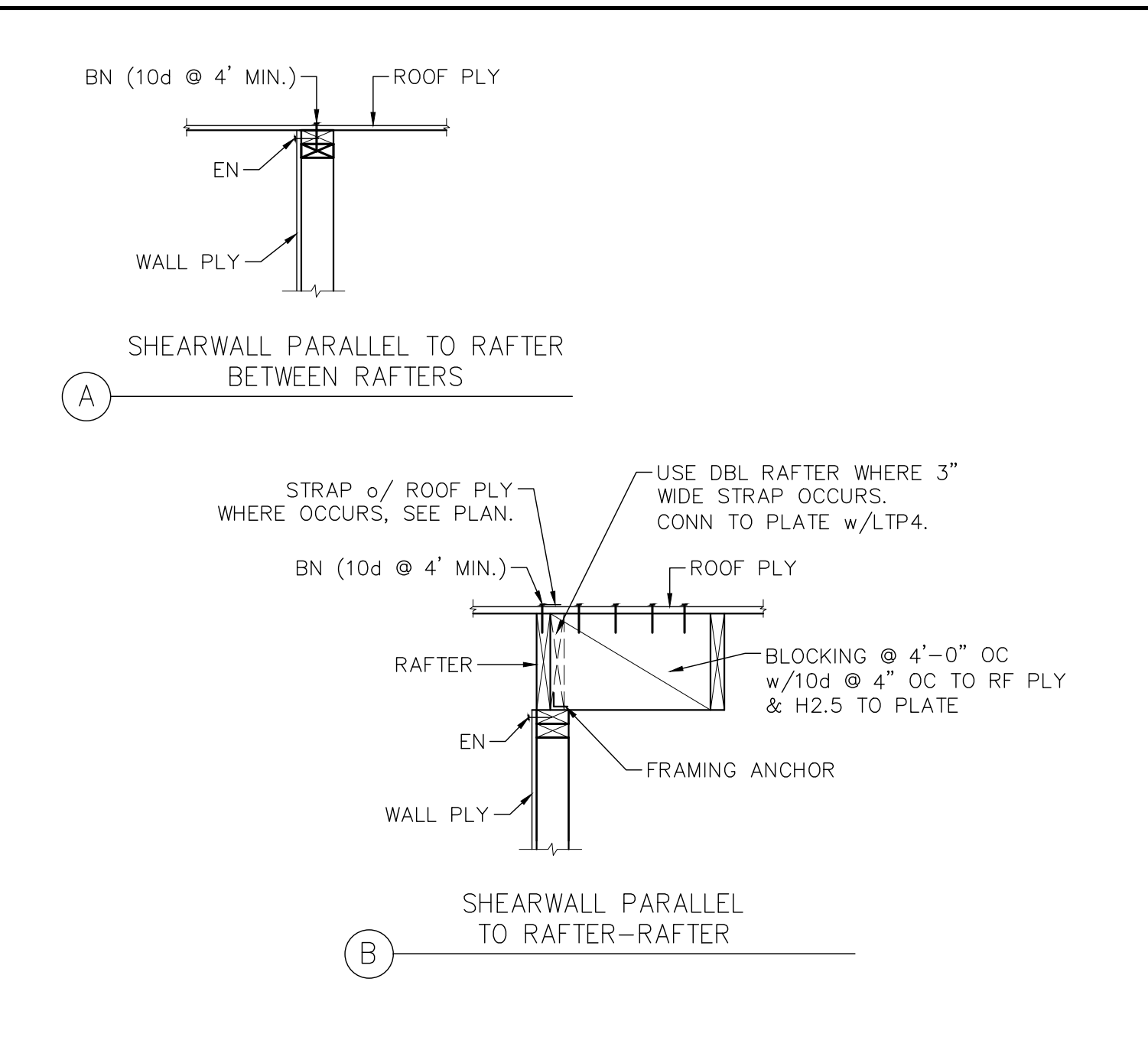
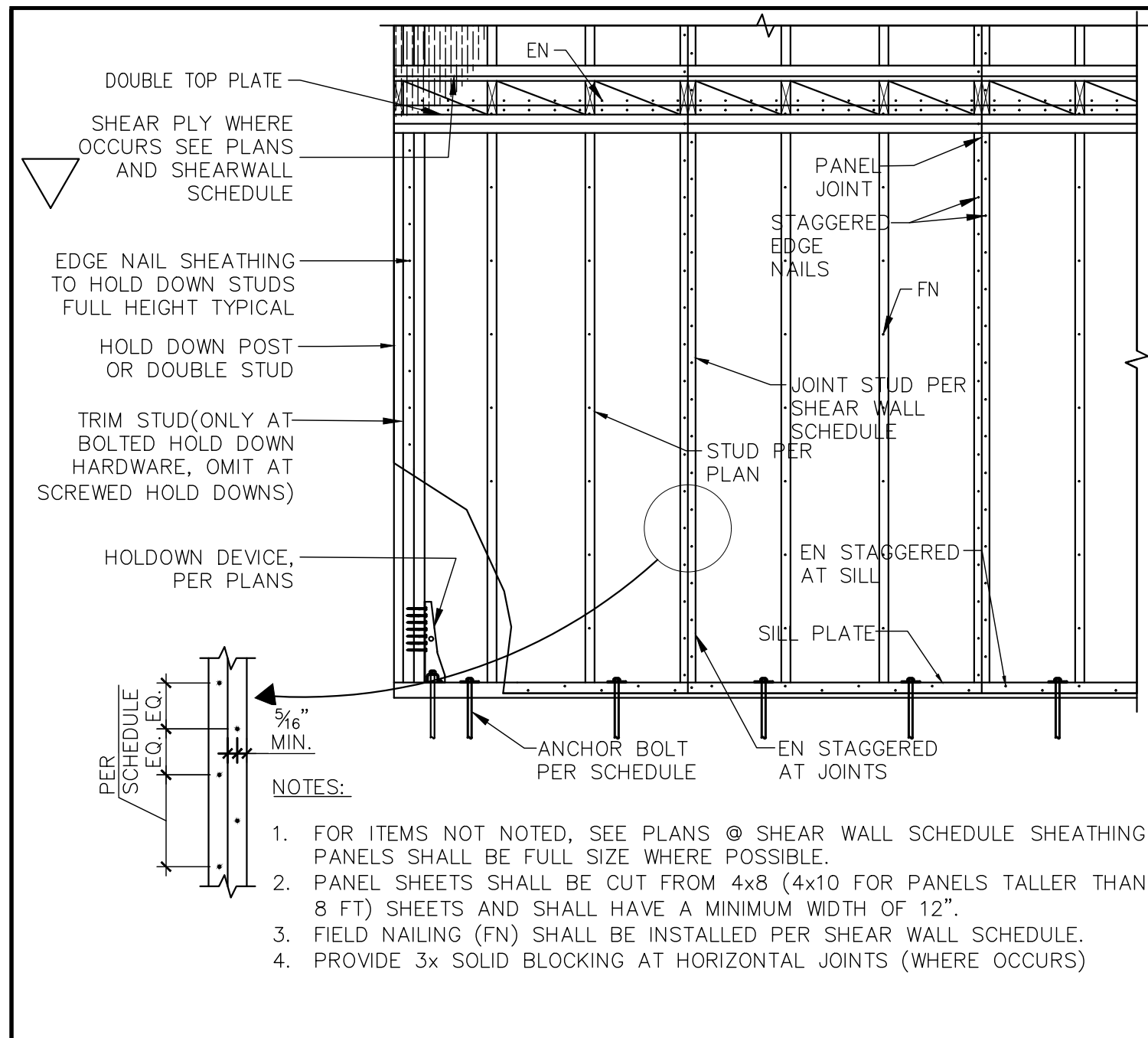
11 INTERIOR STAIR SCALE: 3/4" = 1'-0"

REVISION	DATE	DESCRIPTION
	02/09/2023	BUILDING SUBMITTAL

DATE: 06/19/2023
DRAWN BY: I.A.R.
DESIGNER BY: I.A.R.
SCALE: AS SHOW
JOB NO.: SBCE23003

STANDARD DETAILS

SHEET NO.
SD-1

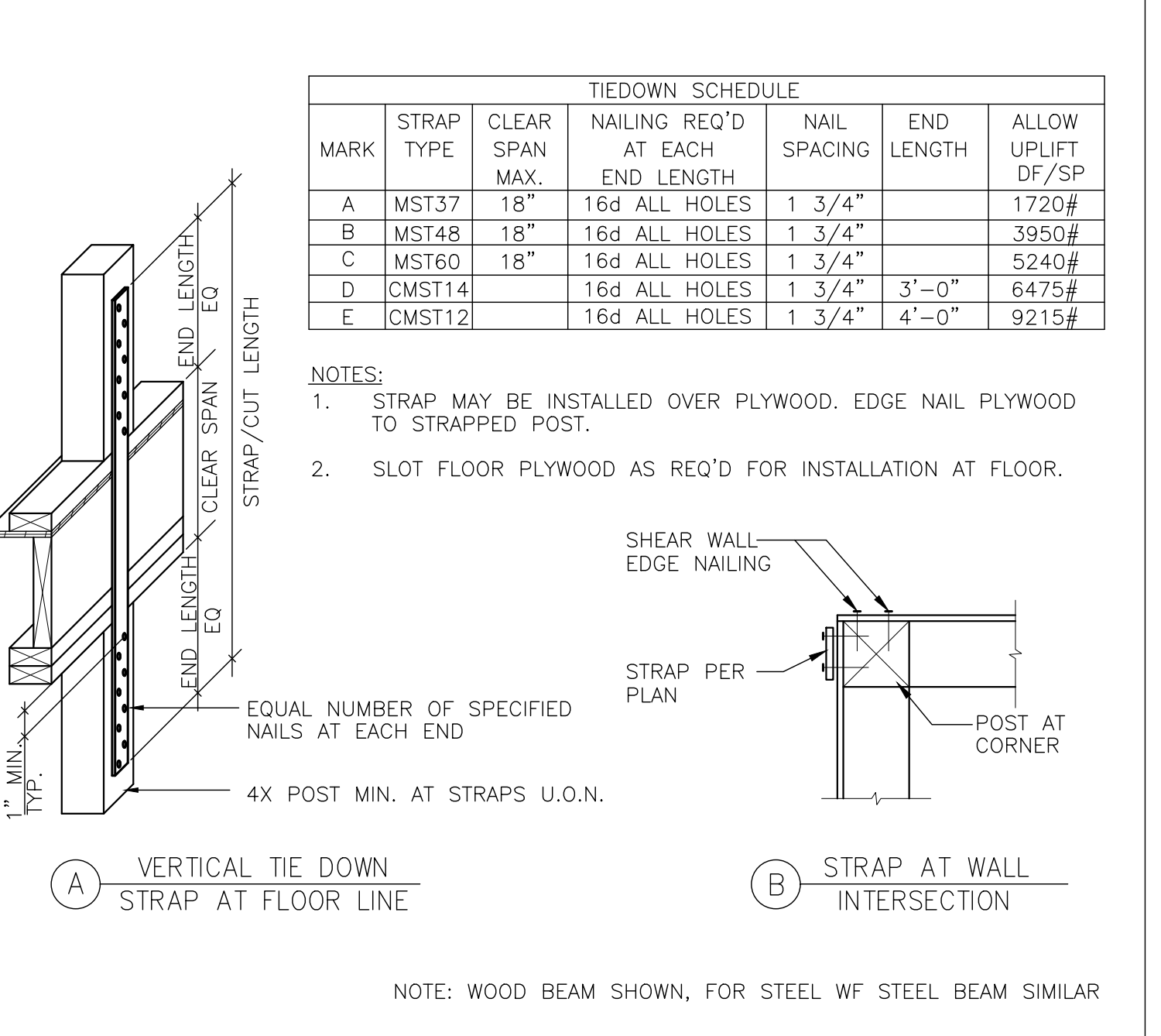
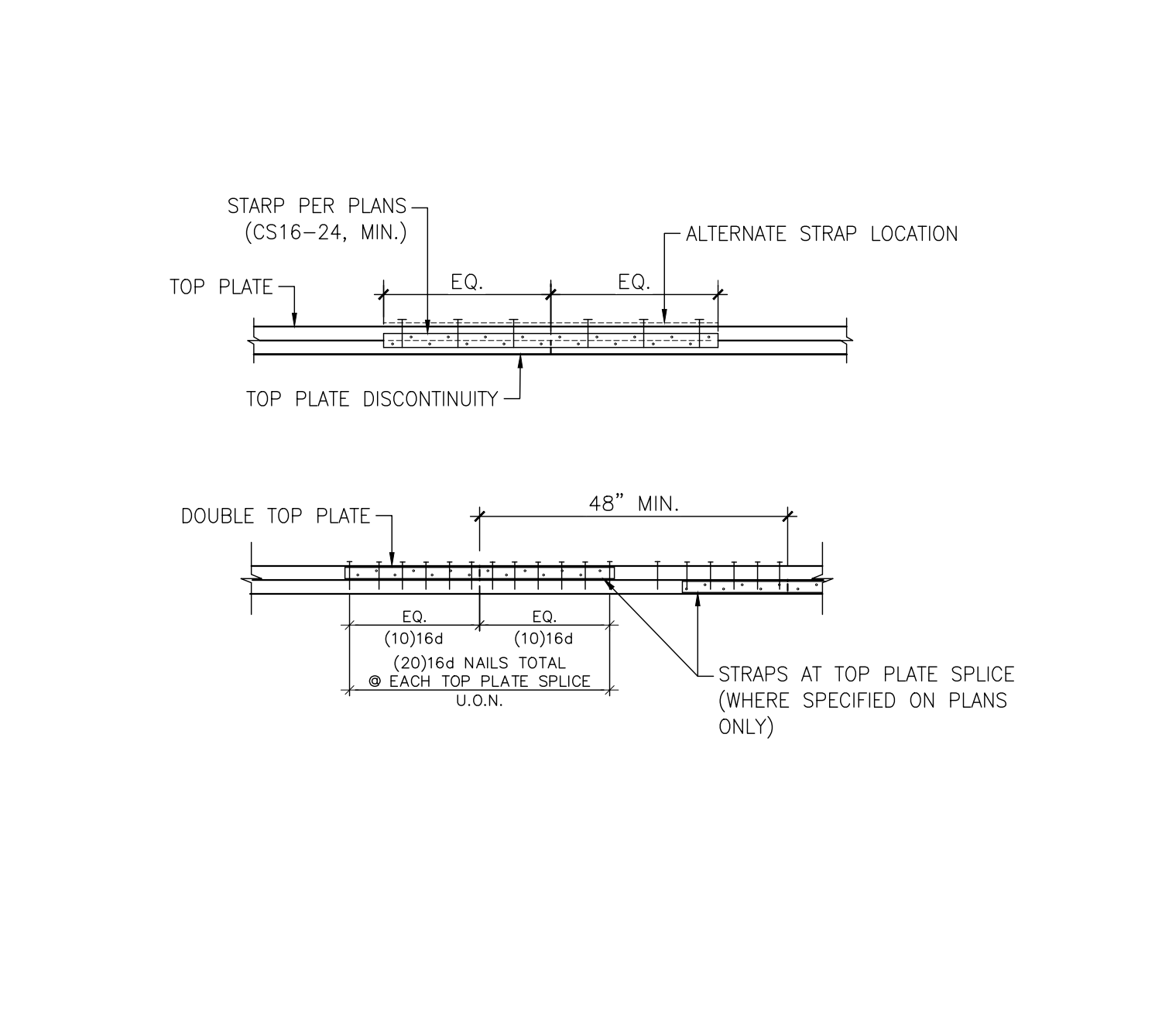
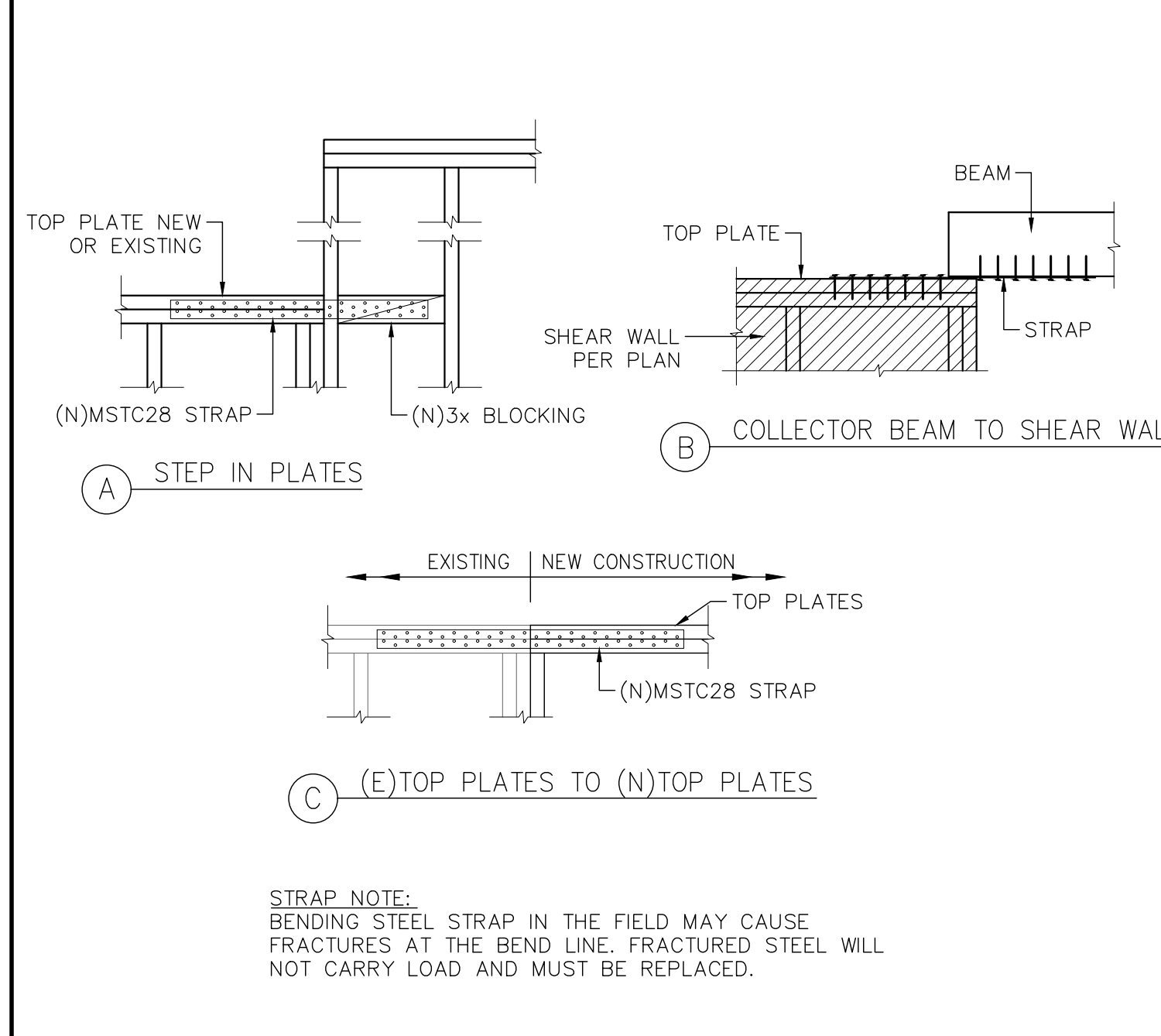


1 TYPICAL SHEAR WALL FRAMING SCALE: 3/4" = 1'-0"

2 SHEARWALL PARALLEL TO RAFTER-BETWEEN RAFTERS SCALE: 3/4" = 1'-0"

3 SHEARWALL PERPENDICULAR TO RAFTER SCALE: 3/4" = 1'-0"

4 SHEAR TRANSFER AND/OR HD LOCATION SCALE: 3/4" = 1'-0"



SHEAR WALL NOTES:

- "- -" SYMBOL INDICATES LOCATION OF SHEAR MATERIAL.
- "△" SYMBOL IS A SHEAR WALL IDENTIFIER, AND INDICATES SIDES ON WHICH SHEAR MATERIAL IS TO BE PLACED. SEE SHEAR WALL SCHEDULE FOR MORE INFORMATION.
- BLOCK AND NAIL ALL JOINTS WITH NAILING SPECIFIED IN SHEAR WALL SCHEDULE.
- 8d AND 10d NAILS SHALL BE COMMON NAILS OR HOT DIPPED GALVANIZED BOX NAILS.
- 5/8" ANCHORS SHALL BE CAST INTO CONCRETE AT 4'-0" O.C. MAXIMUM, EXCEPT WHERE SHOWN OTHERWISE (SEE "SHEAR WALL SCHEDULE"). POWER DRIVEN FASTENERS WILL NOT BE PERMITTED ON EXTERIOR WALLS, OR SHEAR WALLS.
- NAIL ROOF SHEATHING WITH 8d NAILS 6" O.C. @ EDGES AND 12" O.C. INTERIOR (U.N.O.).
- ALL HOLDOWNS, STRAPS AND ANGLES CALLED OUT ON THESE PLANS ARE TO BE MANUFACTURED BY SIMPSON C.O. OR EQUAL.
- NAIL SHEAR MATERIAL TO ALL POSTS ATTACHED TO HOLDOWN OR STRAPS WITH 2-ROWS EDGE NAILING.
- ALL SIMPSON PRODUCTS ARE TO BE INSTALLED PER SIMPSON CO. SPECIFICATIONS.
- ALL "PA" TYPE ANCHORS TO BE INSTALLED OVER PLYWOOD SHEAR MATERIAL.
- DO NOT OVERDRIVE NAILS INTO PLYWOOD. IF NAIL GUN IS USED, GUN SHOULD BE ADJUSTED TO UNDERDRIVE NAIL, THEN NAILS ARE TO BE HAND DRIVEN SO THAT THE HEAD OF THE NAIL IS FLUSH WITH THE FACE OF THE PLYWOOD.

5 HORIZONTAL STRAP DETAIL SCALE: 3/4" = 1'-0"

6 TYPICAL TOP PLATE DISCONTINUITY TYPICAL TOP PLATE SPLICE SCALE: 3/4" = 1'-0"

7 TIEDOWN STRAP OR HD BETWEEN FLOORS SCALE: 3/4" = 1'-0"

8 SHEAR WALL NOTES

NOTES (U.N.O. ON PLANS)

- "*" BLOCK ALL EDGES.
- "**" BLOCK ALL ADJOINING PLYWOOD EDGES WITH 3x LUMBER AND STAGGER NAILS (PLATES, STUDS, POST, BLOCKING, ETC.) USE 3x MUDSILL.
- OFFSET PANEL JOINTS ON DIFFERENT FRAMING MEMBERS WHERE PLYWOOD SHEAR MATERIAL OCCURS ON EACH SIDE OF WALL. OTHERWISE USE 3x MIN. LUMBER, NAILS SHALL BE STAGGERED ON BOTH SIDES.
- USE PNEUMATICALLY DRIVEN 16d NAILS FOR ALL SPACING LESS THAN 6" O.C. IF SILL PLATES SPLITS, NAILS SHALL BE DRIVEN IN PRE-DRILLED HOLES. NAILS SHALL NOT BE UNDERDRIVEN, OVERDRIVEN AND/OR SLANTED.
- ALL NAILS SHALL BE COMMON.
- "N/A" INDICATES NOT APPLICABLE WHEN PLYWOOD IS ON THE EXTERIOR FACE OF WALL. SEE PLANS FOR ATTACHMENTS WHEN PLYWOOD IS ON INTERIOR FACE OF WALL.
- PROVIDE STUDS AT 16" O.C. (MAX.).
- OSB (ORIENTED STRAND BOARD) APA RATED BOARD MAYBE USED IN LIEU OF PLYWOOD WITH BUILDING OWNERS OR ARCHITECTS APPROVAL. HOWEVER, OSB BOARDS SHALL BE RATED EQUAL OR BETTER THAN THE PLYWOOD SPECIFIED.
- USE 5/8" (SHEAR BOLTS) ALL-THREAD ROD EMBED 7" INTO (E) CONCRETE & SET W/SIMPSON "SET-XP" EPOXY AT EXISTING FOOTING CONDITIONS ONLY. (DO NOT USE FOR HOLDOWN ANCHORS)
- USE BLK'G OR RIM BOARD EACH SIDE OF WALL FOR LTP4.
- T.N. - INDICATES TRANSFER NAILING CLIP (DO NOT TOENAIL)
- ALL SILL NAILING T.N. & S.N. APPLY TO THE EXTENT OF SHEAR WALLS ONLY.
- "+" PRE-DRILL HOLES, IF WOOD SPLITS.
- USE 3" x 1/4" WASHER PLATE FOR ALL ANCHOR BOLTS.
- SEE DETAIL 10/SD-2 SOLE PLATE ALTERNATE CONNECTION

SHEAR WALL SCHEDULE						NOTE #12
SHEAR WALL CONNECTION			SHEAR TRANSFER NOTE #11	SILL PLATE CONNECTIONS (SEE NOTE #9 @ EXISTING CONCRETE)		SHEAR WALL CAPACITY (#/')
MARK	MATERIAL	PLYWOOD NAILING	NAILING OR CLIPS (T.N.)	NAILING (S.N.) FOR 2x SOLE PLATE ONLY	ANCHOR BOLTS (A.B.'S) REMARKS: SHEAR BOLTS	
1	3/8" CDX PLYWOOD P.I.: 24/0 *	8d AT 6" O.C. E.N. 8d AT 12" O.C. F.N.	16d AT 5" O.C. OR A35 @ 16" O.C. OR LTP4 AT 24" O.C.	16d AT 5" O.C.	5/8" A.B. AT 4'-0" O.C.	260
2	3/8" CDX PLYWOOD P.I.: 24/0 **	8d AT 4" O.C. E.N. 8d AT 12" O.C. F.N.	16d AT 3" O.C. OR A35 @ 12" O.C. OR LTP4 AT 20" O.C.		5/8" A.B. AT 3'-3" O.C.	380
3	3/8" CDX PLYWOOD P.I.: 24/0 **	8d AT 3" O.C. E.N. 8d AT 12" O.C. F.N.	A35 @ 10" O.C. OR LTP4 AT 16" O.C.		5/8" A.B. AT 2'-4" O.C.	490
4	3/8" CDX PLYWOOD P.I.: 24/0 **	8d AT 2" O.C. E.N. 8d AT 12" O.C. F.N.	A35 @ 10" O.C. OR LTP4 AT 12" O.C.		5/8" A.B. AT 1'-8" O.C.	636
5	1/2" CDX PLYWOOD P.I.: 24/0 **	10d AT 2" O.C. E.N. 10d AT 12" O.C. F.N.	2-A35 @ 12" O.C. OR LTP4 AT 10" O.C.		5/8" A.B. AT 1'-6" O.C.	770
6	1/2" STR. PLYWOOD P.I.: 24/0 **	10d AT 2" O.C. E.N. 10d AT 12" O.C. F.N.	2-A35 @ 12" O.C. OR LTP4 AT 8" O.C.		5/8" A.B. AT 1'-4" O.C.	870
3	3/8" CDX PLYWOOD **	8d AT 3" O.C. E.N. 8d AT 12" O.C. F.N.	2-A35 @ 12" O.C. OR LTP4 AT 10" O.C.		5/8" A.B. AT 1'-2" O.C.	980
4	3/8" CDX PLYWOOD **	8d AT 2" O.C. E.N. 8d AT 12" O.C. F.N.	LTP4 AT 12" O.C. EACH SIDE, STAGGER		5/8" A.B. AT 11" O.C.	1272
6	1/2" STRUCT I PLYWOOD**	10d AT 2" O.C. E.N. 10d AT 12" O.C. F.N.	LTP4 AT 8" O.C. EACH SIDE, STAGGER		5/8" A.B. AT 8" O.C.	1740

NOTE #10: USE 3x P.T.D.F. MUDSILL AT FOUNDATION FOR SHEAR WALL TYPE BELOW. (OTHER-WISE USE 2x P.T.D.F. MUDSILL W/ REDUCED A.B.'S SPACING BY HALF (1/2") AS SHOWN ON SHEAR WALL SCHEDULE W/ 3" SQ. x 1/4" THK. WASHER PLATE)

NOTE #12: USE 3x P.T.D.F. MUDSILL AT FOUNDATION FOR SHEAR WALL TYPE BELOW.

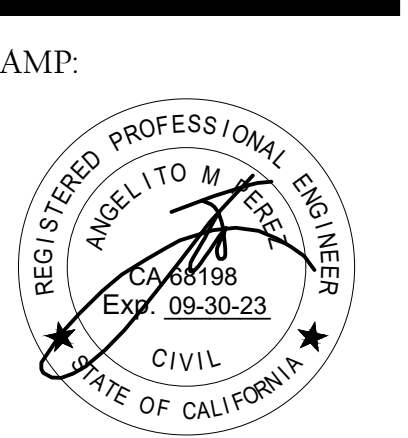
REQUIRED CONNECTIONS FOR 3x SOLE PLATE & ALTERNATE SOLE PLATE CONNECTION FOR 2x PLATE			
MARK	2x SOLE PLATE (W/ 1 1/8" MAX. PLYWOOD SUBFLOOR) W/SIMPSON SDS25412 LONG SCREWS	3x SOLE PLATE (W/ 1 1/8" MAX. PLYWOOD SUBFLOOR) W/SIMPSON SDS25600 LONG SCREWS	SHEAR WALL CAPACITY (#/')
1	16" OC	16" OC	260
2	12" OC	12" OC	380
3	8" OC	8" OC	490
4	6" OC	6" OC	636
5	5" OC (STAGGERED)	5" OC (STAGGERED)	770
6	4" OC (STAGGERED)	4" OC (STAGGERED)	870
3	N/A	4" OC (STAGGERED)	980
4	N/A	3" OC (STAGGERED)	1272
6	N/A	2 ROWS @ 4" OC (STAGGERED)	1740

9 SHEAR WALL NOTES & SCHEDULE

10 SHEAR WALL NOTES CONNECTIONS



New ADU.
1392 North Hillview Drive, Milpitas, CA.

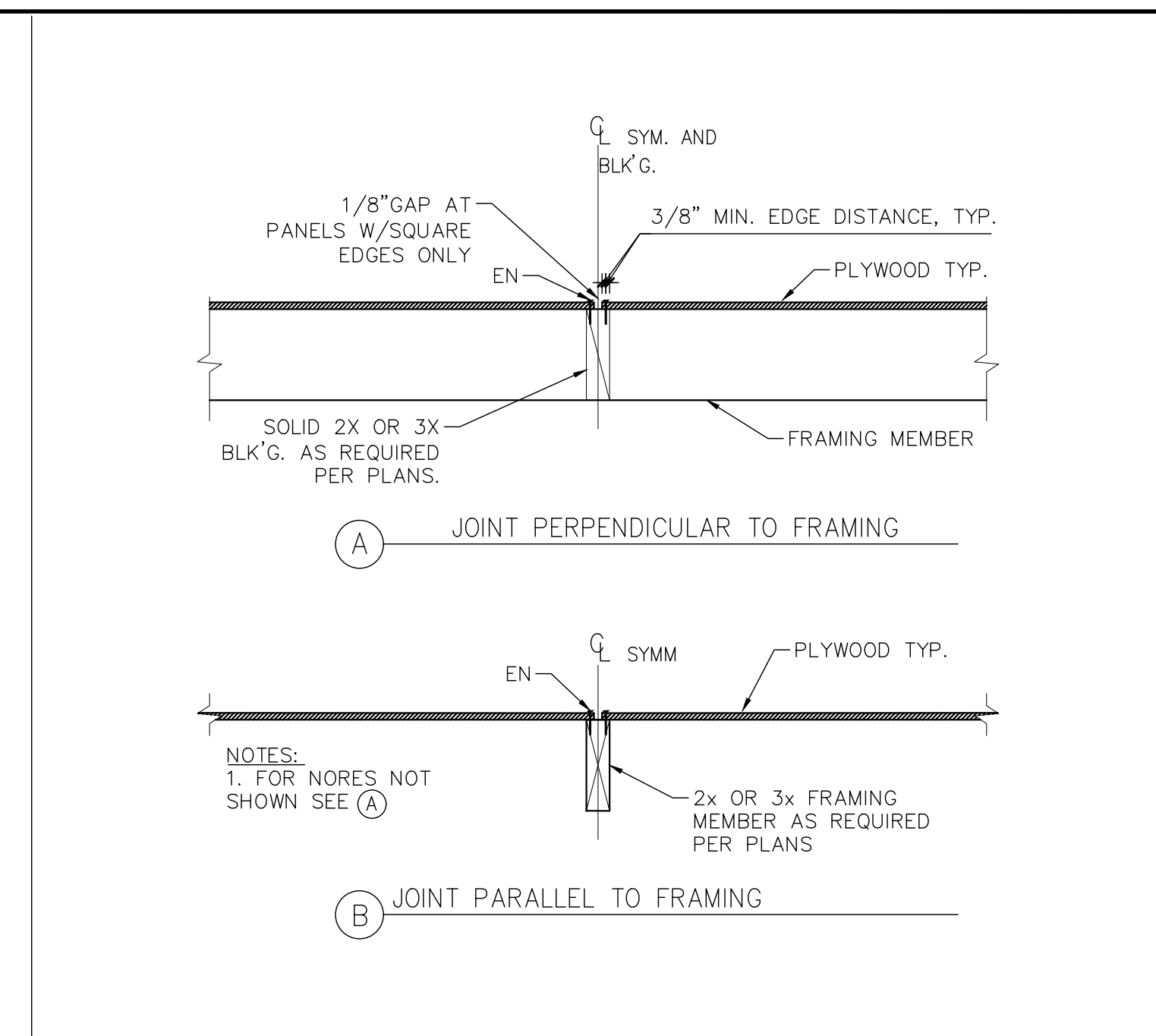
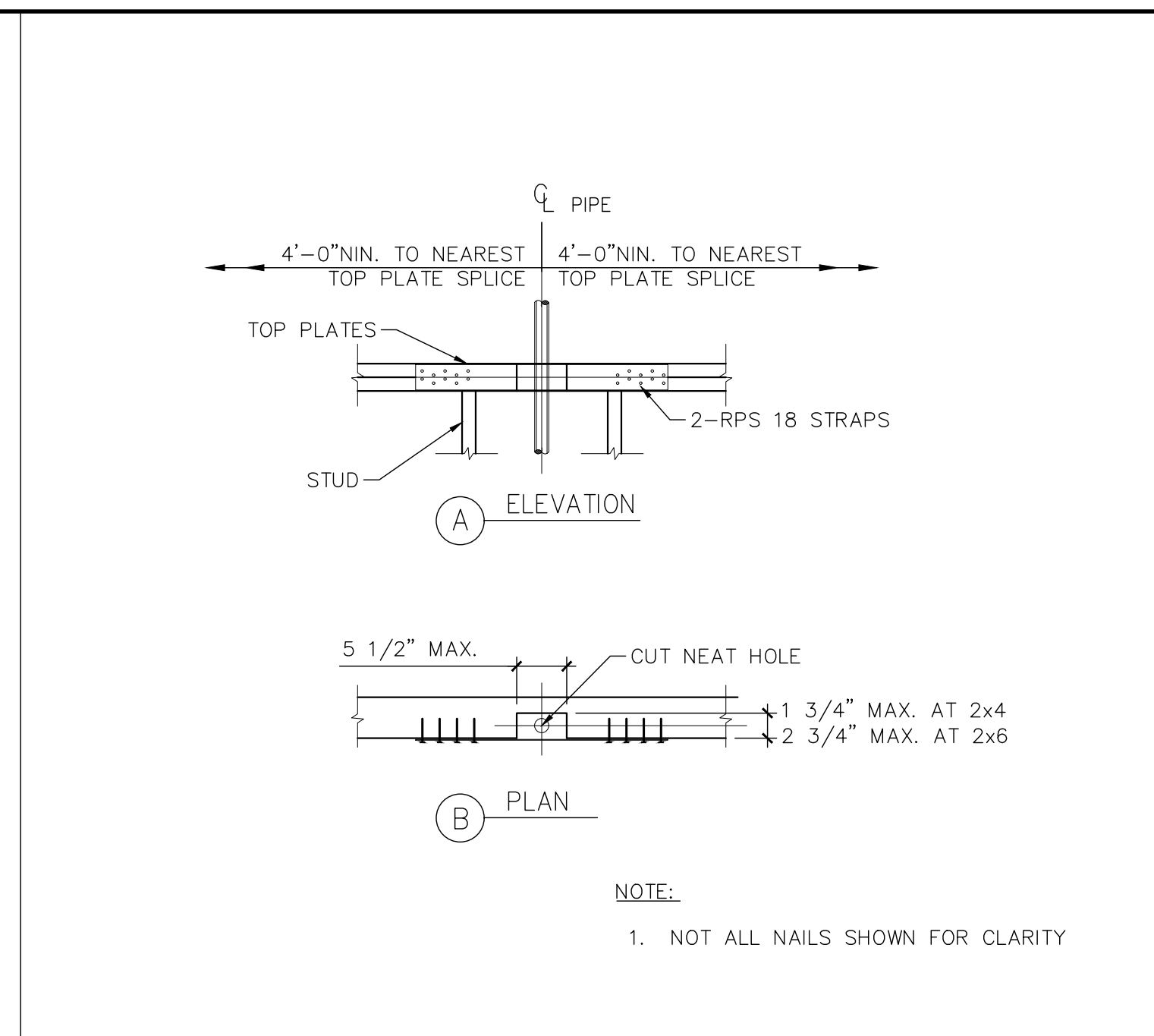
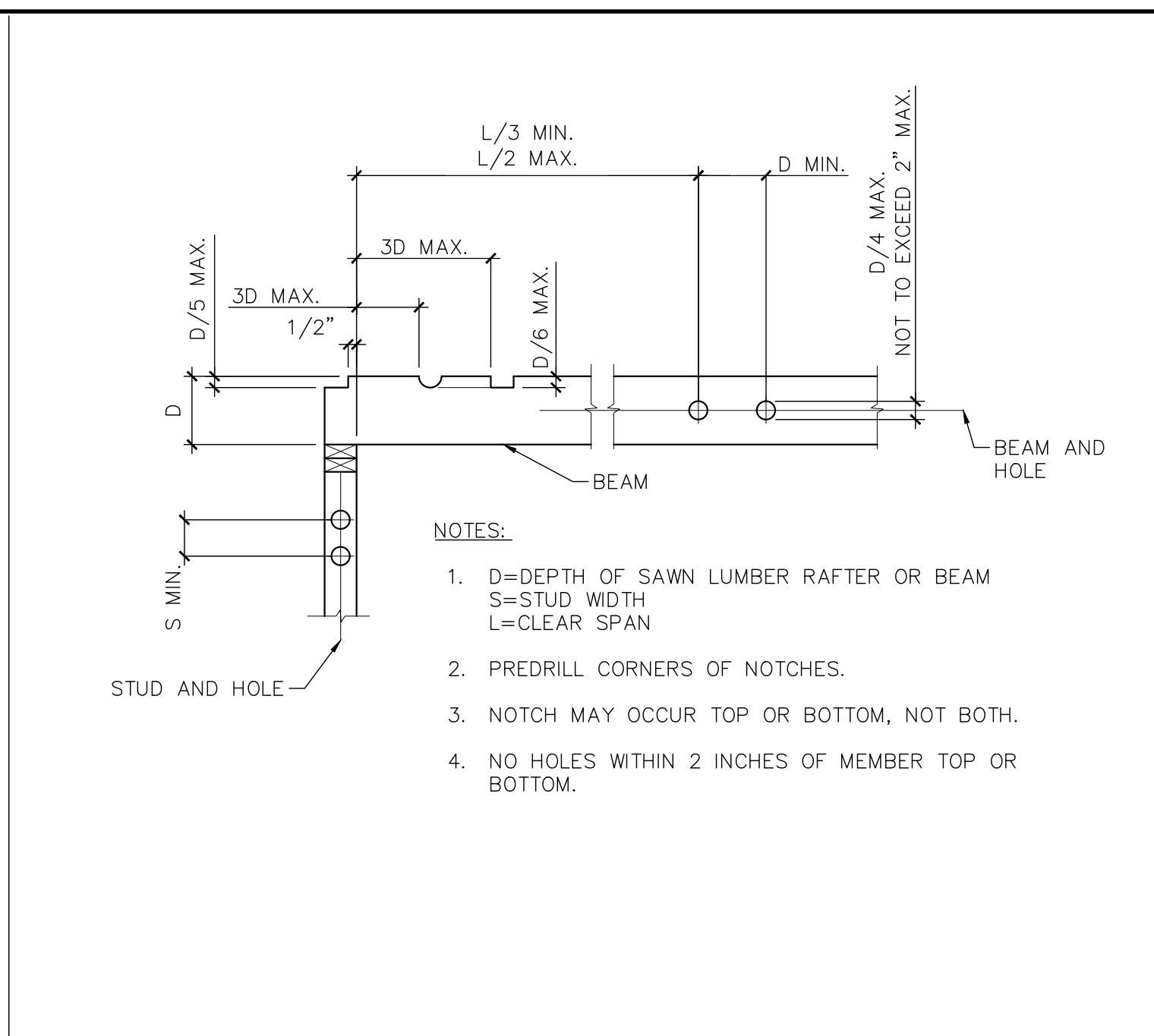
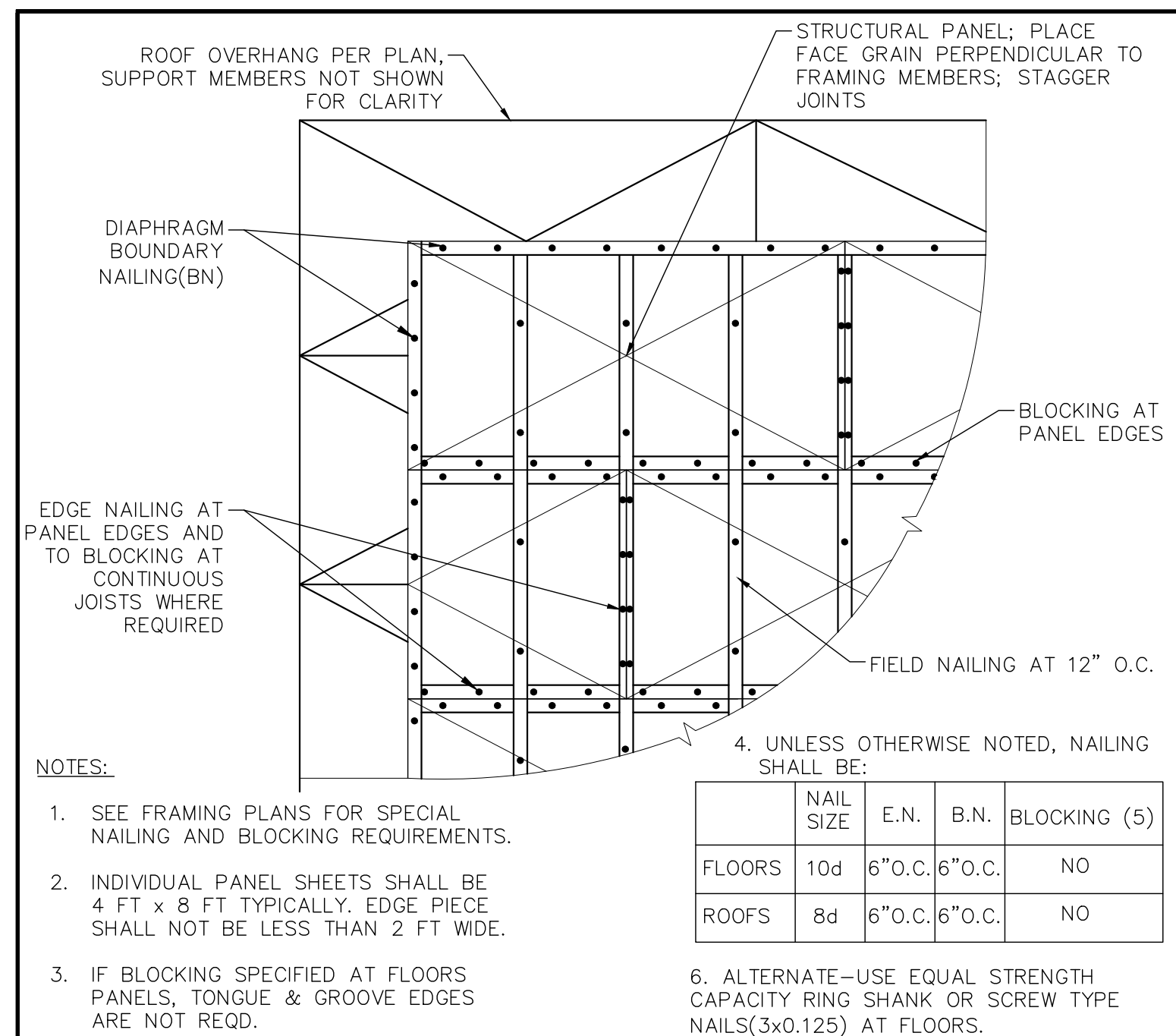


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DATE: 06/19/2023
DRAWN BY: I.A.R.
DESIGNER BY: I.A.R.
SCALE: AS SHOW
JOB NO.: SBCE23003

STANDARD DETAILS

SHEET NO. SD-2

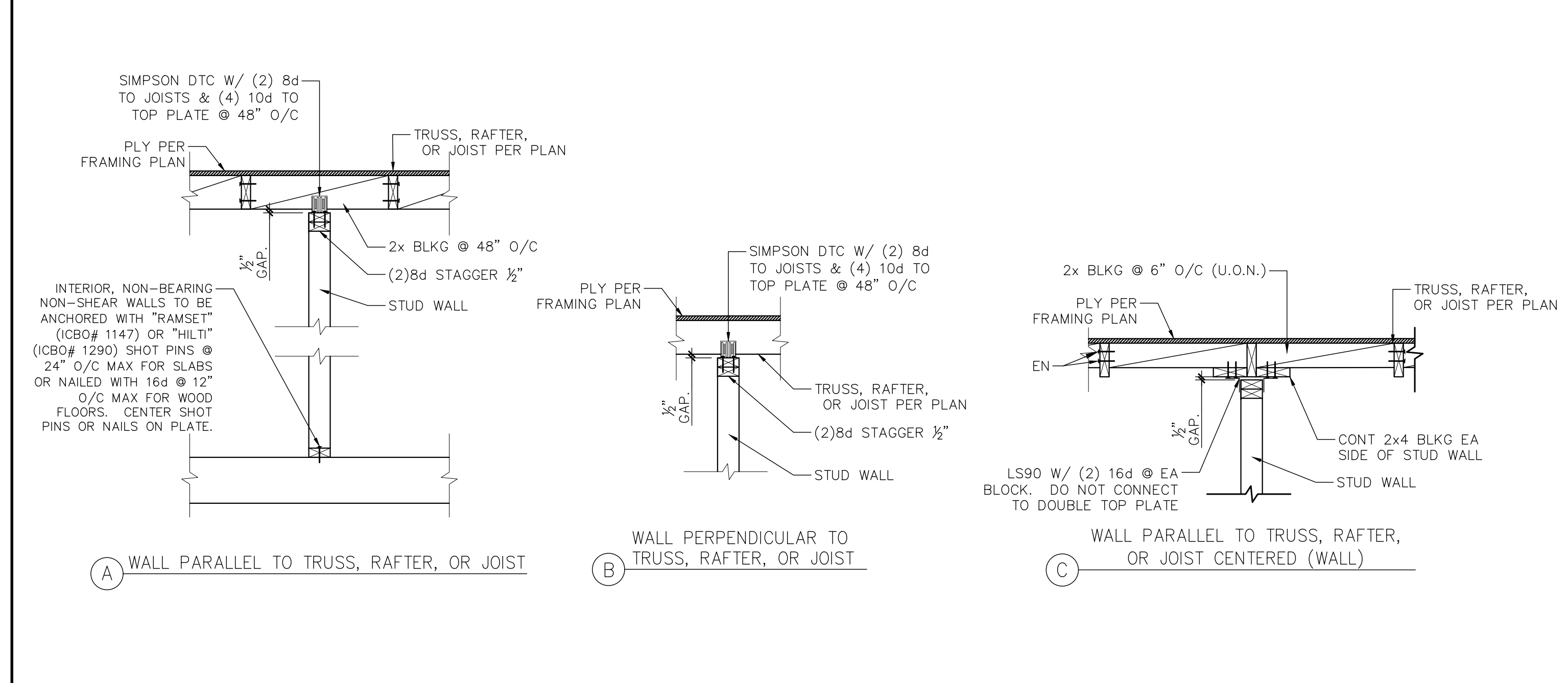


1 WOOD STRUCTURAL PANEL SHEATHING LAYOUT SCALE: 3/4" = 1'-0"

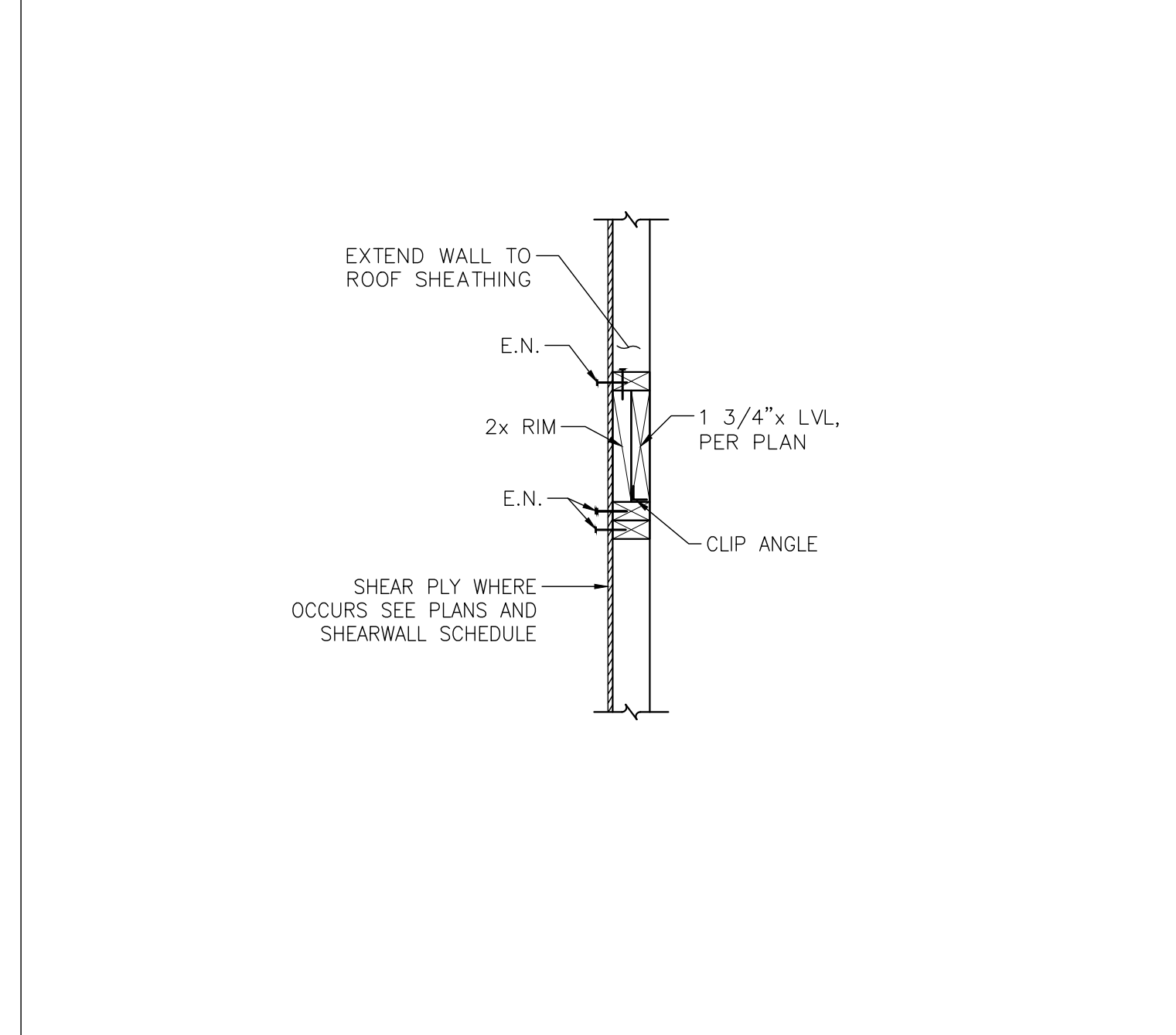
2 ALLOWABLE HOLES FOR STRUCTURAL SAWN LUMBER MEMBERS SCALE: 3/4" = 1'-0"

3 STRENGTHENING PENETRATION THROUGH BEARING OR SHEAR WALL SCALE: 3/4" = 1'-0"

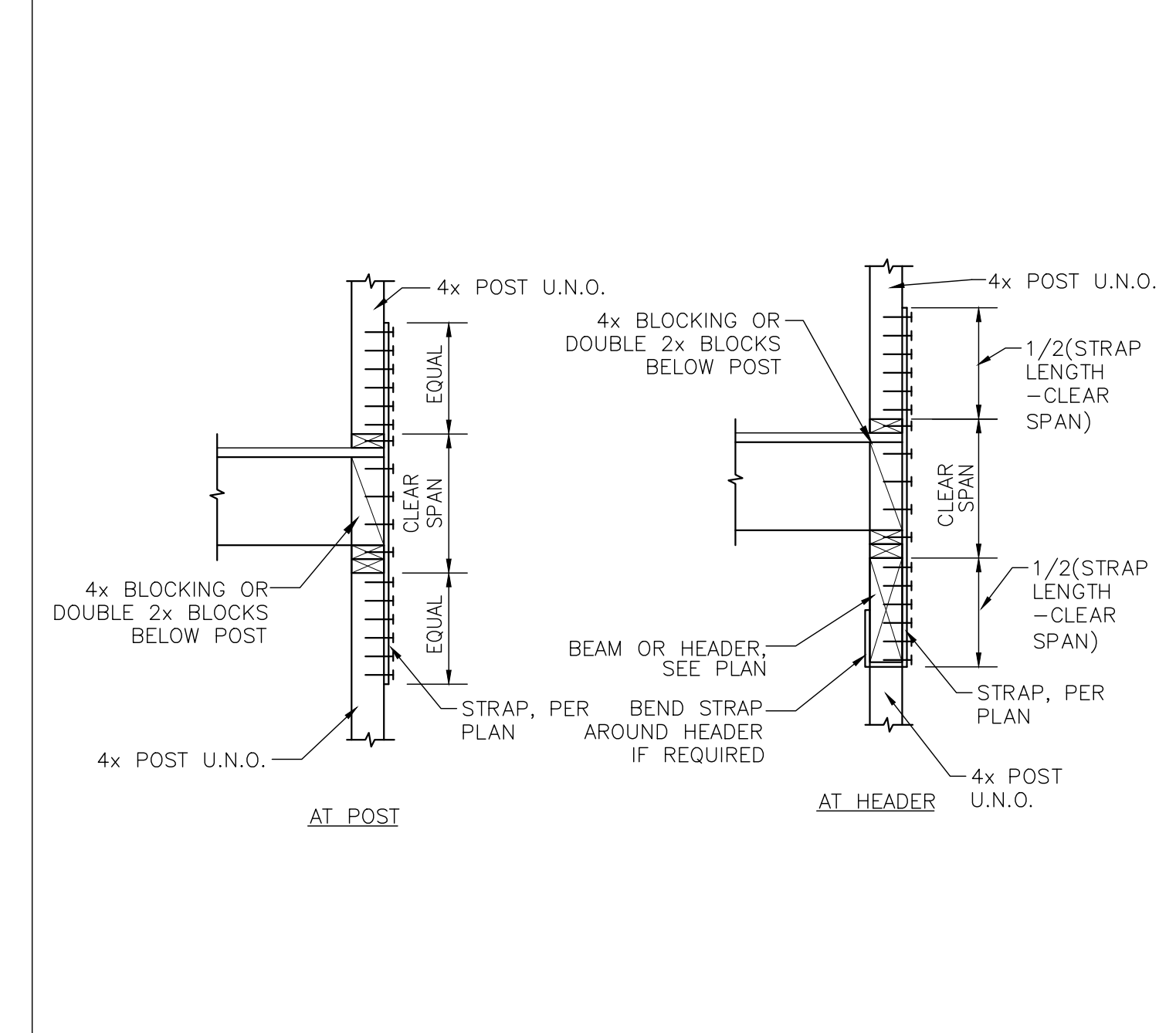
4 PLYWOOD NAILING SCALE: 3/4" = 1'-0"



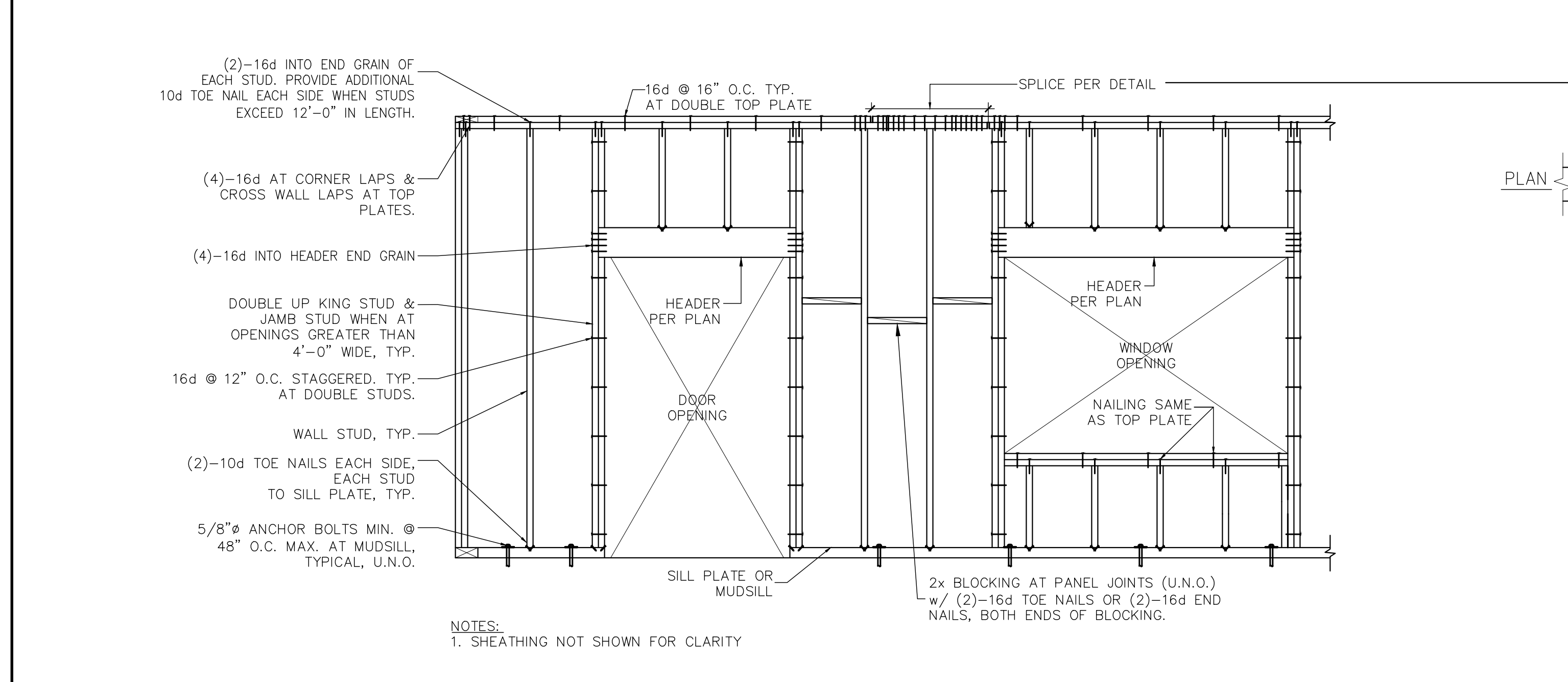
5 NON-BEARING WOOD STUD WALL TO TRUSS, RAFTERS, OR JOIST SCALE: 3/4" = 1'-0"



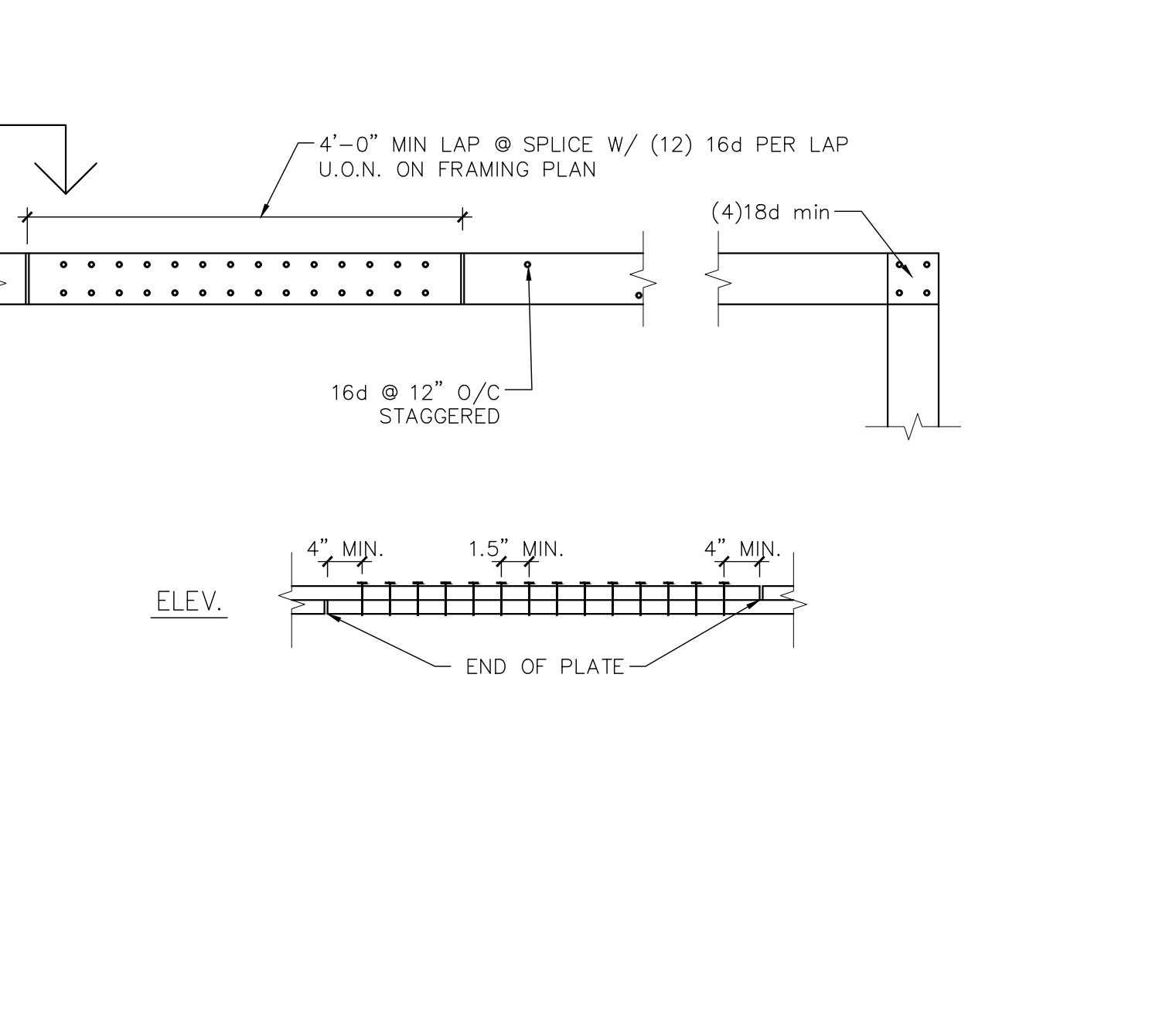
6 TRANSFER WALL IN OPENING TO STAIR SCALE: 3/4" = 1'-0"



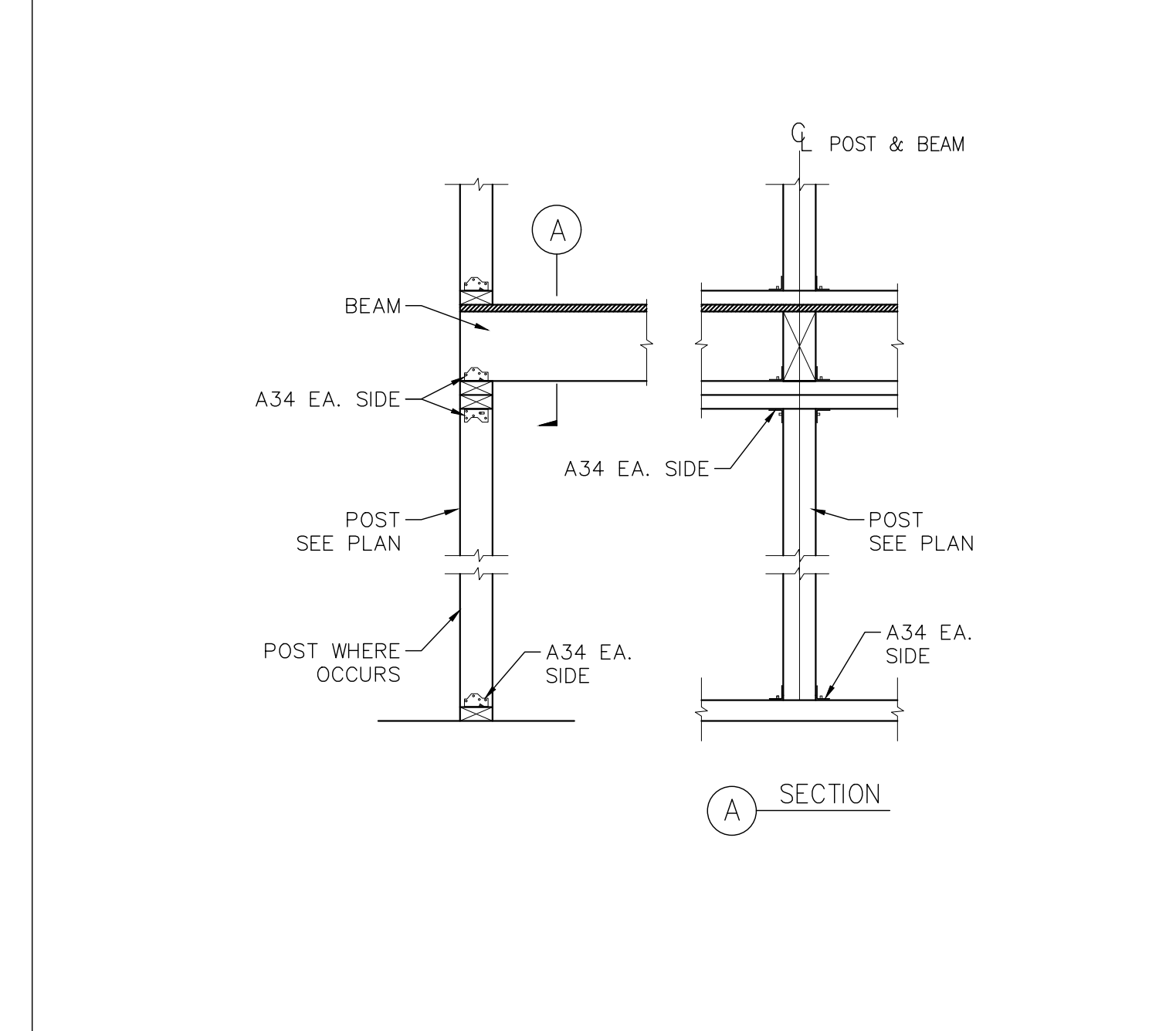
7 TIEDOWN STRAP OR HD BETWEEN FLOORS SCALE: 3/4" = 1'-0"



8 TYPICAL STUD WALL FRAMING SCALE: 3/4" = 1'-0"



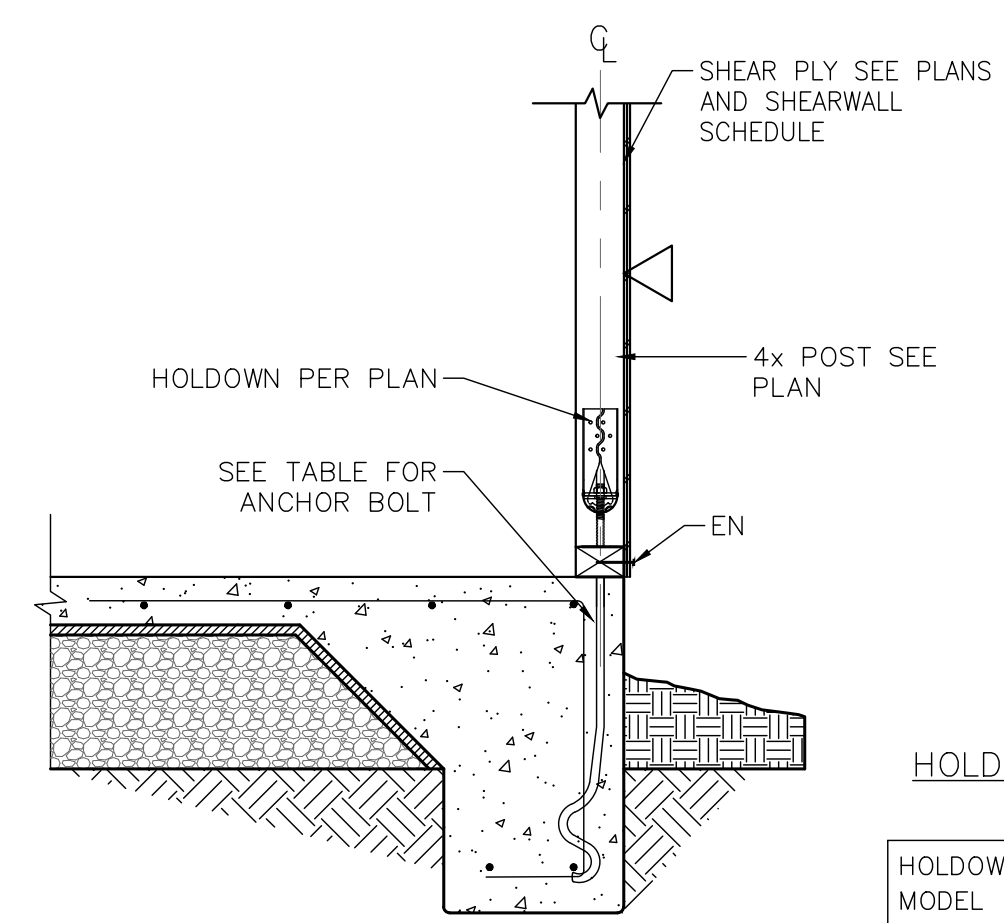
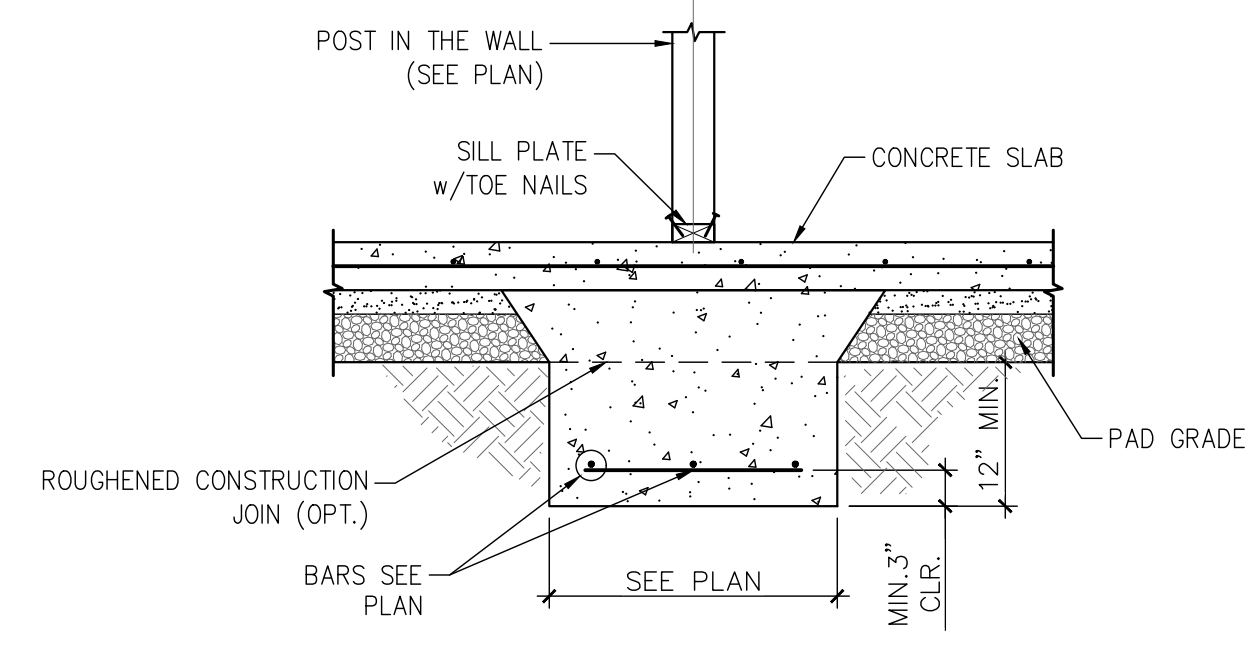
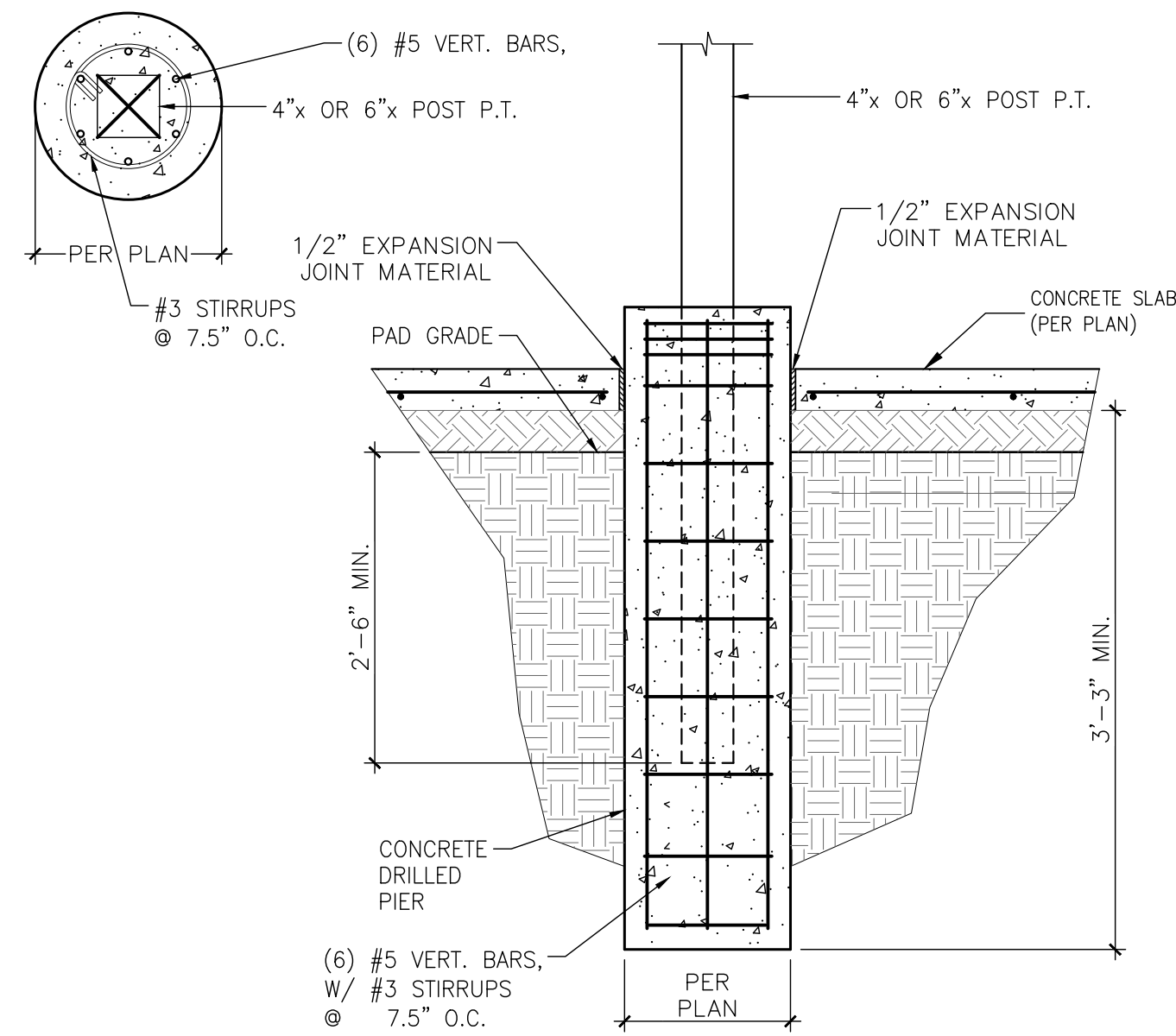
9 FLUSH BEAM TO POST CONNECTION AT WALL SCALE: 3/4" = 1'-0"



9 FLUSH BEAM TO POST CONNECTION AT WALL SCALE: 3/4" = 1'-0"

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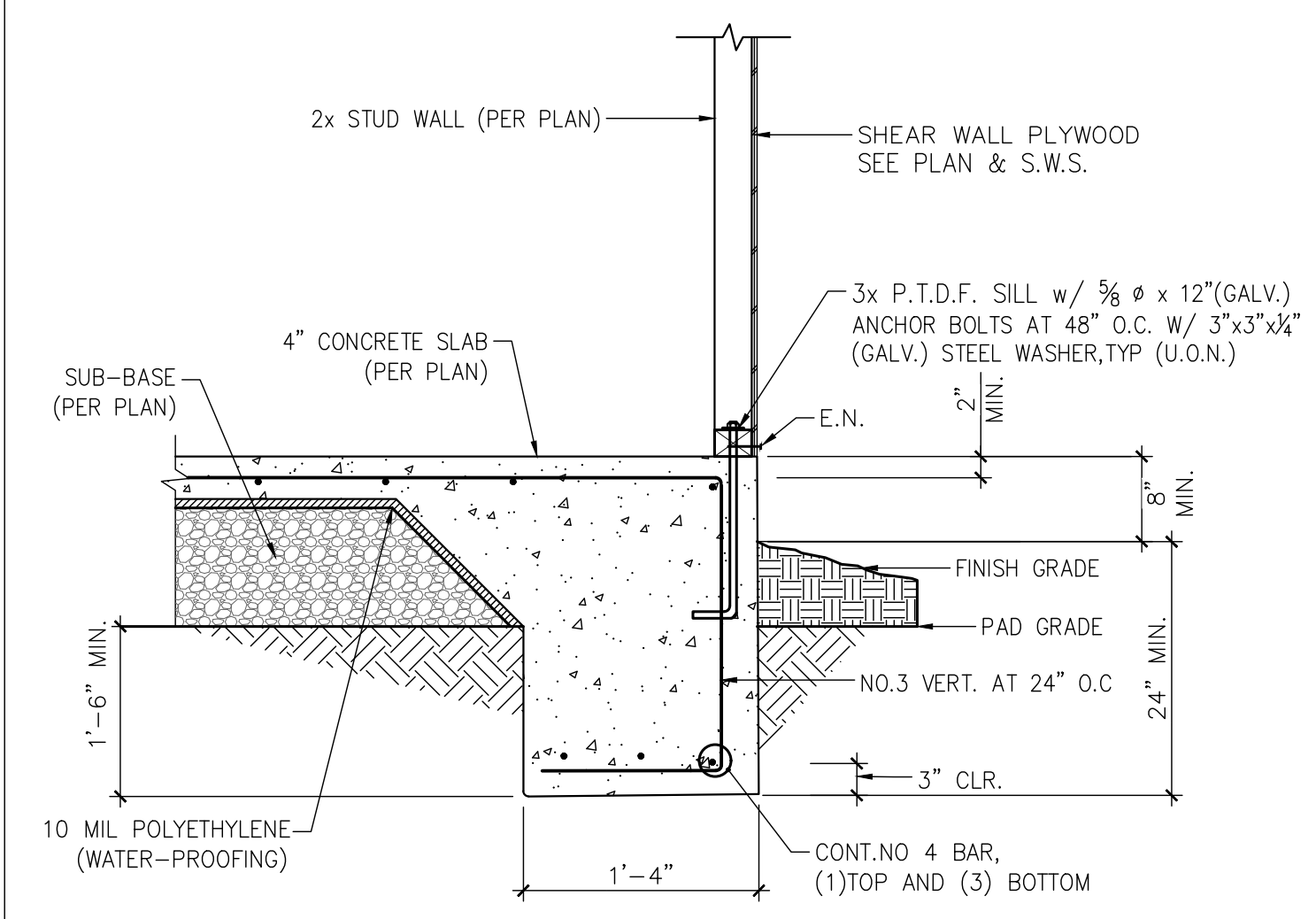
DATE: 06/19/2023
DRAWN BY: L.A.R.
DESIGNER BY: L.A.R.
SCALE: AS SHOWN
JOB NO.: SBCE23003



SELECTION TABLE FOR HOLDDOWN ANCHOR BOLTS (NEW FOOTINGS)

HOLDOWN MODEL	ANCHOR BOLT	MIN EMBED LENGTH
HDU2	SSTB24	21"
HDU4	SB5/8x24	18"
HDU5	SB5/8x24	18"

NOTE: DEEPEN FOOTING WHERE REQUIRED TO ACCOMMODATE TIEDOWN

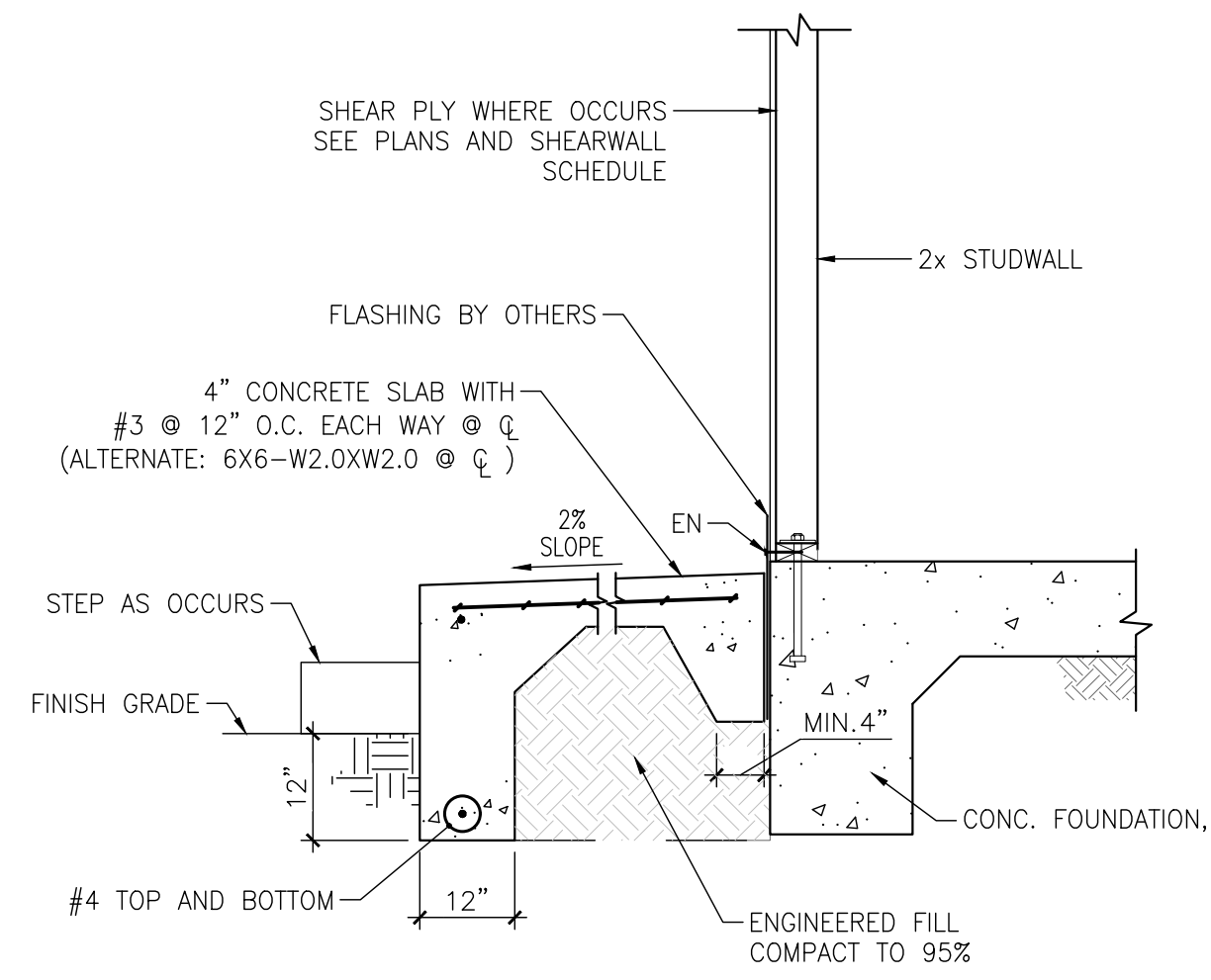


1 FOOTING AT POST SCALE: 3/4" = 1'-0"

2 INTERIOR POST FOOTING SCALE: 3/4" = 1'-0"

3 TYPICAL HOLDDOWN SCALE: 3/4" = 1'-0"

4 EXTERIOR SLAB FOOTING FOR TWO STORY SCALE: 3/4" = 1'-0"



5 EXTERIOR SLAB FOOTING FOR DECK SCALE: 3/4" = 1'-0"

6

7

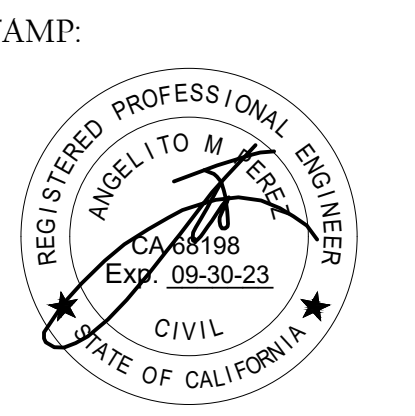
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9

10

11

12



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FOUNDATION DETAILS