

# MEMORANDUM

Planning Department

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**Date:** February 29, 2024  
**To:** Zoning Administrator  
**From:** Jessica Thiragirayuta, Planning Technician

**Subject:** **Industrial Building Exterior Modifications – 260 S. Milpitas Blvd - P-MS23-0272.** A Minor Site Development Permit to develop a 570 square-foot equipment enclosure at the front half of an existing 142,134 square-foot industrial building on a 7.3-acre site in the M2 Heavy Industrial Zoning District located at 260 S. Milpitas Blvd. The project is categorically exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Existing Facilities) and, as a separate and independent basis, Section 15303 (Construction or Conversion of Small Structures).

**Location:** 260 S. Milpitas Blvd (APN: 086-38-005)

**Zoning/GP:** Heavy Industrial (M2) / Manufacturing (MFG)

**Application:**

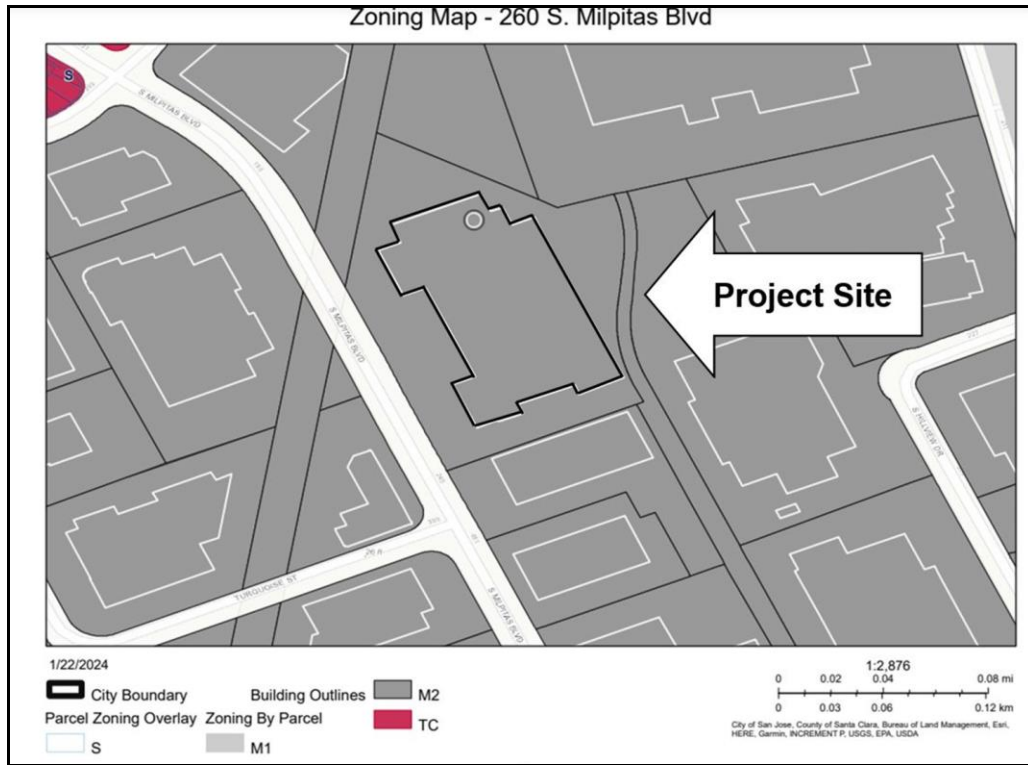
In November 2023, HGA (applicant) submitted a Minor Site Development (MSD) Permit application for modifications to the exterior of an existing industrial building. The scope of work includes removing existing loading dock doors and storefront windows with new windows and roll-up doors; installing a new exterior outdoor patio area; replacing one loading ramp with two new ramps; installing new roof trusses along with new rooftop units; and constructing a 570 square-foot equipment enclosure at the front half of the building.

Per Milpitas Municipal Code (MMC) Table XI-10-57.03-1, applicants proposing to develop equipment enclosures exceeding 200 square feet requires Zoning Administrator approval. The proposed enclosure will screen a proposed transformer, needed to provide the necessary power capacity for the existing and future equipment needs.

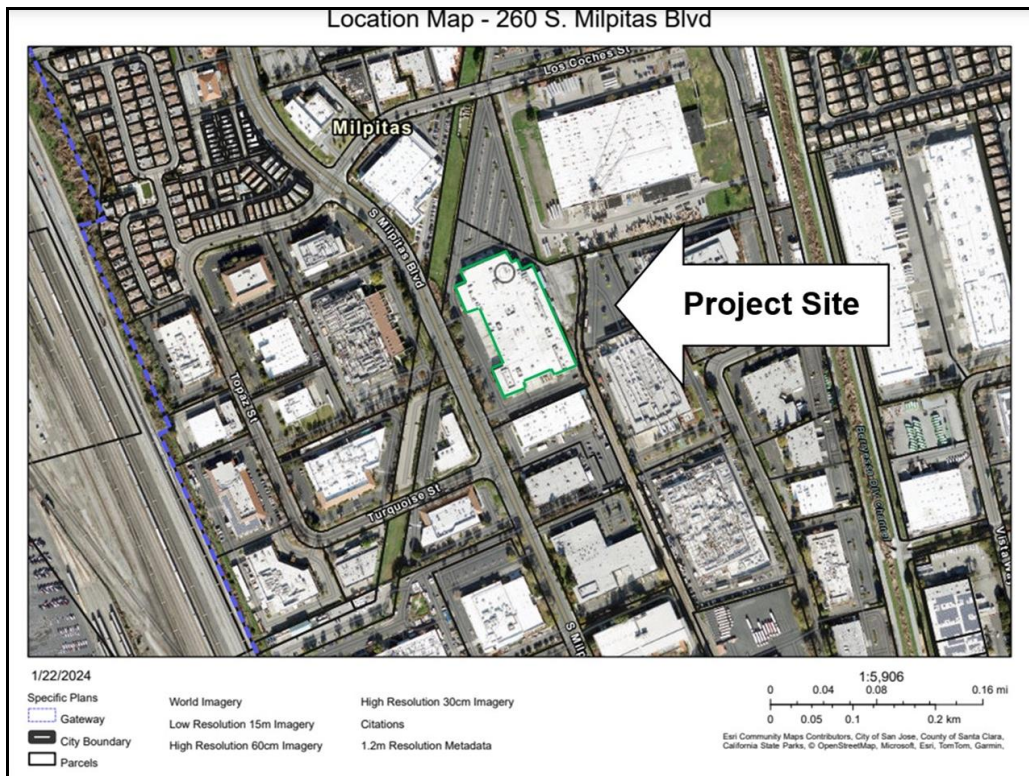
The Project site is surrounded by industrial uses to the north, south, east, and west as demonstrated in Map 1: Project Zoning, Map 2: Aerial View, and Table 1: Surrounding Zoning and Land Uses.



### Map 1 – Zoning Map



### Map 2 – Aerial View



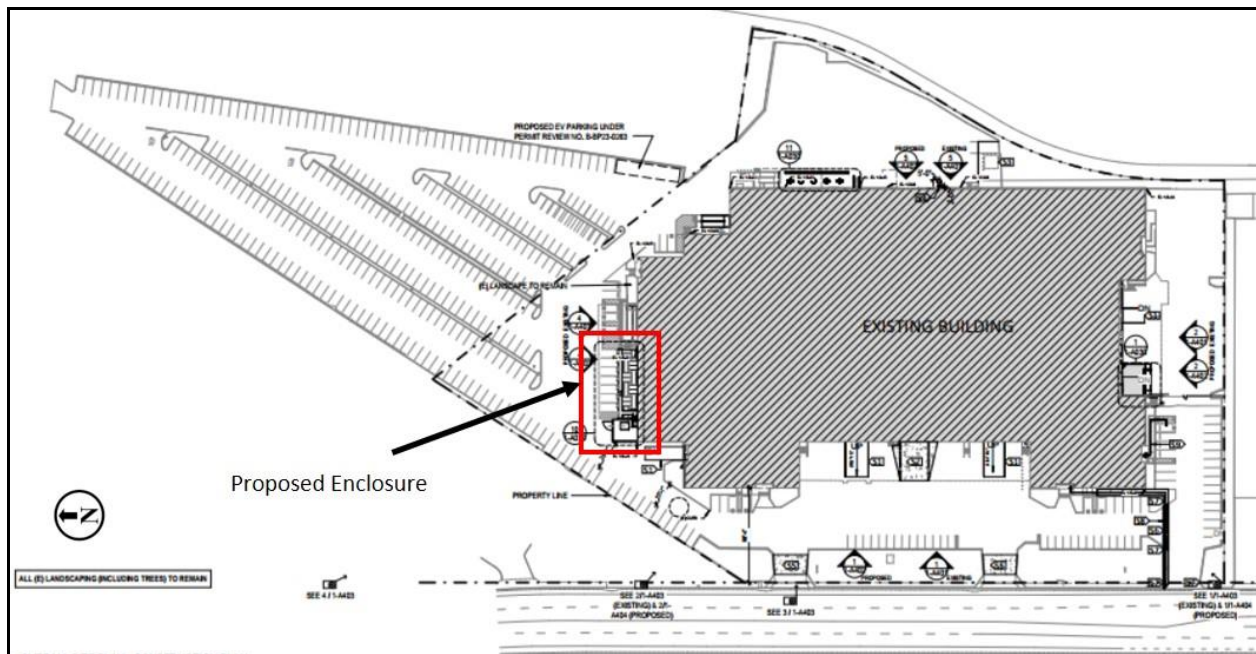
**Table 1: Surrounding Zoning and Land Uses**

	General Plan	Zone	Uses
<b>Subject Site</b>	Manufacturing (MFG)	Heavy Industrial (M2)	Industrial Facility
<b>North</b>	Manufacturing (MFG)	Heavy Industrial (M2)	Auto Repair
<b>South</b>	Manufacturing (MFG)	Heavy Industrial (M2)	Warehousing and wholesale
<b>East</b>	Manufacturing (MFG)	Heavy Industrial (M2)	Business Support Services
<b>West</b>	Manufacturing (MFG)	Heavy Industrial (M2)	Plant or Facility

**Project Details**

The existing tenant produces video content to present online. The majority of video production takes place on the eastern portion of the building. The proposed 570-square-foot enclosure would be installed on a new concrete pad attached to the Northwest side of the subject building. The transformer within the enclosure will provide additional power to support the existing and proposed use. There will be 8 new parking spaces and 1064-square-feet of new landscaping adjacent to the proposed enclosure. Figure 1: Site Plan shows the location of the proposed enclosure.

**Figure 1: Site Plan**



**Analysis**

The project site is in the Heavy Industrial (M2) Zoning District and complies with all applicable development standards of that district, as shown in Table 2:

**Table 2: M2 Zone Development Standards**

Standards	Required	Existing/Proposed	Complies
Front Setback	Along major street: 35 feet from face of curb. Along non-major street: 25 feet from face of curb.	Existing/No Change	Yes
Side Yard Setback	None	47 feet 5 inches to the new equipment enclosure	Yes
Rear Yard Setback	None	Existing/No Change	Yes
Max. FAR	0.40	0.40 Existing/ No Change	Yes
Landscaping	Landscaping within Front Yard Setback	Existing/No Change	Yes

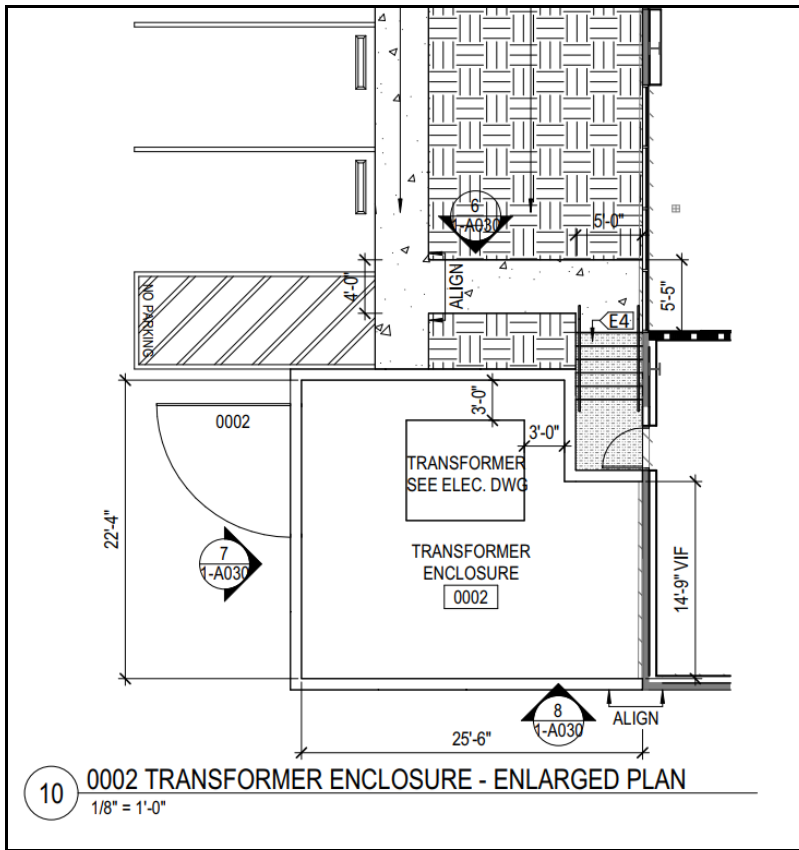
**Colors and Materials**

The enclosure will include the following components:

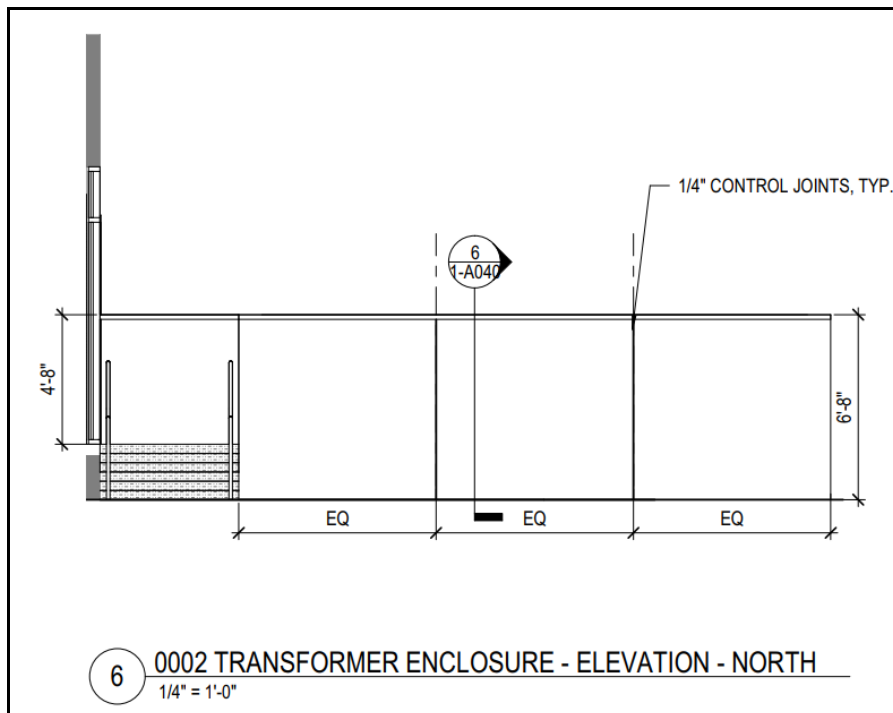
- Six-foot, eight-inch tall stucco panels with ¼ inch control joints. The panels will be painted to match the building exterior.
- A ten-foot wide, six-foot, two-inch tall swing gate with vertical siding, also painted to match adjacent stucco finish.
- A standard pedestrian door.

As noted above, the purpose of the enclosure is to screen the new transformer from view. The swing gate will provide access to and from the new equipment enclosure area, as demonstrated in Figures 1 and 3. The pedestrian door will remain locked and accessed when the transformer needs to be maintained.

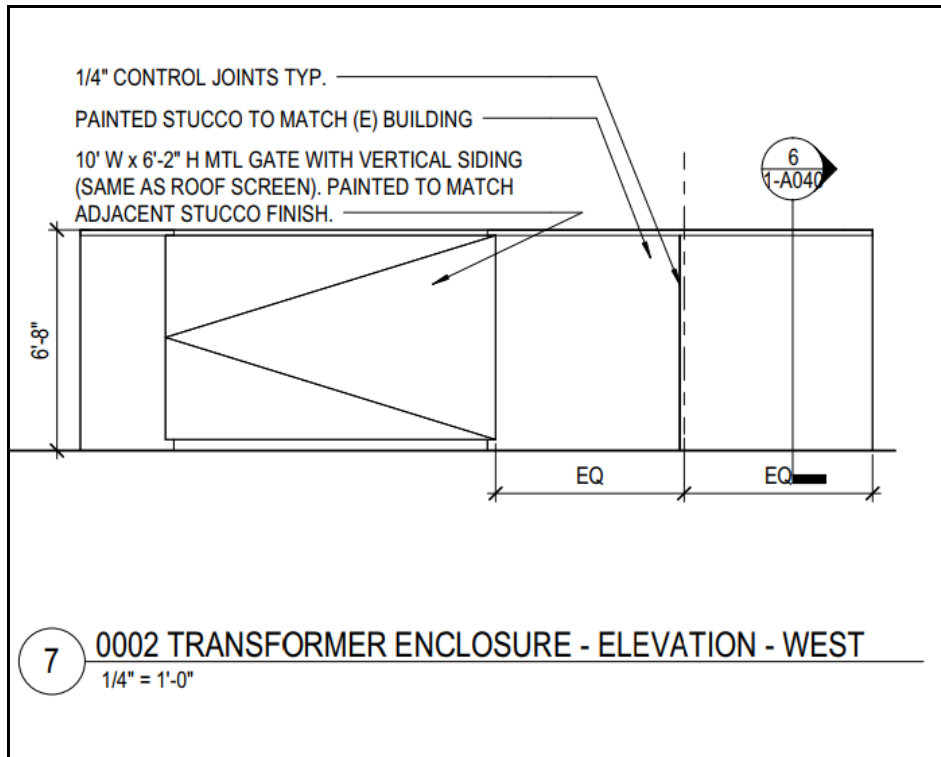
**Figure 1: Enlarged Site Plan**



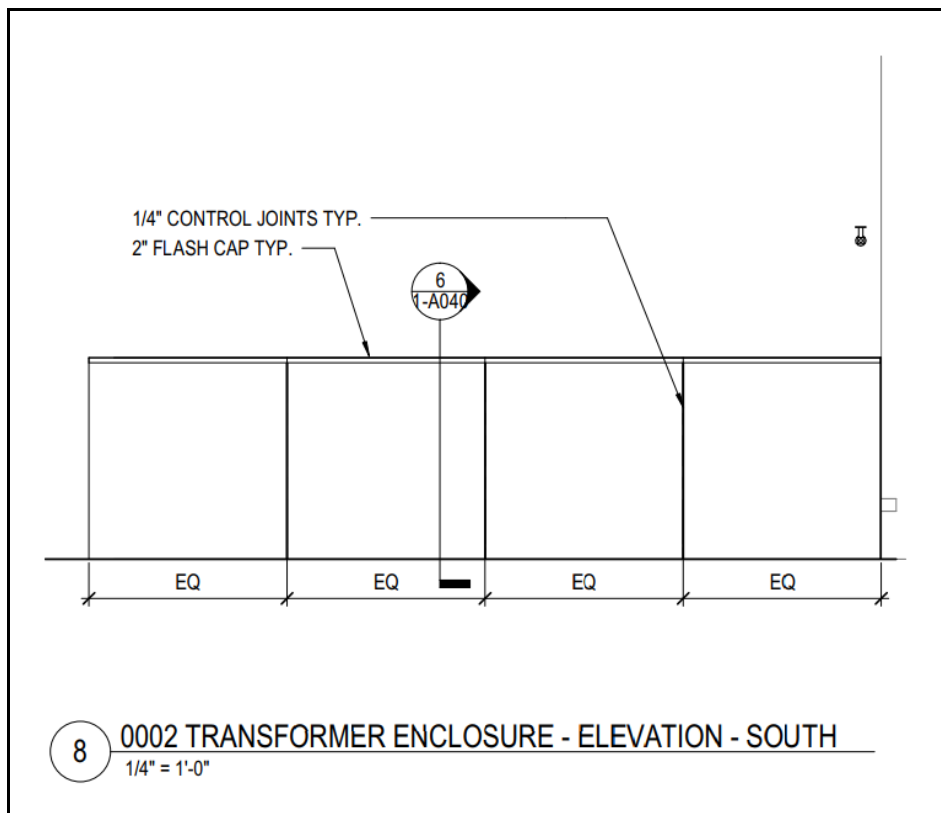
**Figure 2: North Elevation**



**Figure 3: West Elevation**



**Figure 4: South Elevation**



**Parking**

No parking spaces will be removed due to the new equipment enclosure. The site will remain compliant with the MMC parking standards, as demonstrated in Table 3. The number of proposed overall parking spaces exceeds the number of required parking spaces.

**Table 3: Parking Standards**

<b>Use</b>	<b>Area</b>	<b>Minimum Parking Spaces Required</b>	<b>Total</b>
Manufacturing	85,286 sq. ft.	1 per 1500 sq. ft.	57 spaces
Office Space within an Industrial Building	56,848 sq. ft.	1 per 350 sq. ft.	163 spaces
Total Spaces required (per MMC)			220 spaces
Total Spaces provided			450 spaces

**Views**

The enclosure will be hidden from public right-of-way views from the north, south, east, and west as it is screened by the existing building, landscaping and fencing. Only a portion of the enclosure will be visible from the parking lot in the northwest elevation, but as noted above, the finish on the enclosure wall will be painted a white-colored finish to match the main building and create a harmonious appearance from views from the north. The height of the wall is designed to match the height of the new equipment.

**Figure 6: Location of Enclosure from S. Milpitas Blvd.**



**Findings for Approval:**

In accordance with Section XI-10-57.03(G) of the Milpitas Municipal Code, the Zoning Administrator may consider and approve a Minor Site Development if the required findings can be made. Findings shall identify the rationale behind the decision to take a certain action and are analyzed below:

- 1. The development recognizes and respects the nature of the neighborhood and site, development patterns, materials used, and the expectations of those who will see and use the building;*

The colors and materials of the proposed enclosure have been designed in a manner to blend in with the surrounding industrial area. Although portions of the enclosure are visible from the northwest parking lot, the applicant provided a line-of-sight drawing in compliance with Milpitas Municipal Code Section XI-10.54.16(C)(1)(e), demonstrating that the equipment within the enclosure will not be visible from the public right-of-way. The enclosure will be painted a white-colored finish to match the main building. The enclosure's design is consistent with similar enclosures in the immediate area.

2. *The development assures that modifications satisfy functional requirements, and are screened with appropriate compatible materials; and*

The proposed enclosure efficiently uses available outdoor space to increase operation capacity with minimal visual impact. The enclosure's design will complement the industrial character of the building, as it is nestled away on the side of the site and adequately protected with stucco panels and swing gate to match the roof screening.

3. *The development assures that the modifications will not interfere with the privacy, quiet enjoyment or view of the surrounding properties.*

The proposed enclosure is located on the front half of the site, behind an existing industrial building, landscaping, and fencing, and enclosed by appropriately colored materials that complement the existing building. The 6-foot 8-inch tall enclosure will not be visible from the south, east, and west of the building and will minimally affect views from surrounding properties or nearby industrial buildings. It will completely screen the proposed electrical equipment from public view.

### **California Environmental Quality Act (CEQA):**

The project is categorically exempt from further environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301(e) (Existing Facilities) and as a separate and independent basis, Section 15303 (Construction or Conversion of Small Structures). As proposed, the project is less than 10,000 square feet, located within an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and in an area that is not environmentally sensitive.

### **Recommendation:**

STAFF RECOMMENDS THAT the Zoning Administrator approve P-MS23-0272 for removing existing loading dock doors and replacing them with new storefront glazing and replacing existing storefront glazing with new roll-up doors; new exterior landscape addition to accommodate a new outdoor patio; removing one existing loading ramp and adding two new loading ramps; new roof trusses along with new rooftop units; and constructing a 570 square-foot equipment enclosure, up to 6 feet-8 inches in height for an existing 142,134 square-foot industrial building subject to the findings outlined in this report and the attached Conditions of Approval.

### *Attachments:*

- A. *Conditions of Approval*
- B. *Project Plans*

**Attachment A****CONDITIONS OF APPROVAL:**

1. General Compliance. The applicant, including all successors in interest (collectively "Permittee") shall comply with each and every condition set forth in this Permit. This Minor Site Development Permit No. MS23-0272 ("Permit") shall have no force or effect and no building permit shall be issued unless and until all things required by the below-enumerated precedent conditions have been performed or caused to be performed. **(P)**
2. Effective Date. Unless there is a timely appeal filed in accordance with the Milpitas Zoning Code, the date of approval of this Permit is the date on which the decision-making body approved this Permit. **(P)**
3. Acceptance of Permit. Should Permittee fail to file a timely appeal within twelve (12) calendar days of the date of approval of this Permit, inaction by Permittee shall be deemed to constitute each of the following: **(P)**
  - i. Acceptance of this Permit by Permittee; and
  - ii. Agreement by the Permittee to be bound by, comply with, and to do all things required of or by Permittee pursuant to all of the terms, obligations, and conditions of this Permit.
4. Permit Expiration. Pursuant to Section XI-10-64-06 of the Milpitas Zoning Code, this Permit shall become null and void if the activity permitted by this Permit is not commenced within two (2) years from the date of approval, or for a project submitted with a tentative map, within the time limits of the approved tentative map. Pursuant to Section XI-10-64.06(B) of the Milpitas Zoning Code, an activity permitted by this Permit shall be deemed to have commenced when the project: **(P)**
  - i. Completes a foundation associated with the project; or
  - ii. Dedicates any land or easement as required from the zoning action; or
  - iii. Complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.
5. Time Extension. Pursuant to Section XI-10-64.07 of the Milpitas Zoning Code, unless otherwise provided by State law, Permittee shall have the right to request a one-time extension of the Permit if the request is made in writing to the Planning Division prior to the expiration date of the approval. **(P)**
6. Notice. Pursuant to California Government Code Section 66020, any protest filed in court relating to the imposition of fees, dedication, reservations, or other exactions to be imposed on the development project shall be filed within ninety (90) days after the date of the approval of this Permit. This provision serves as notice from the local agency to the Permittee that the ninety (90) day period in which the applicant may file a protest has begun under California Government Code Section 66020(d)(1). **(CA)**

7. Cost and Approval. Permittee shall fully complete and satisfy each and every condition set forth in this Permit and any other condition applicable to the project to the sole satisfaction of the City. Additionally, Permittee shall be solely responsible and liable for the cost to satisfy each and every condition. Permittee shall pay all required fees and charges to the City at the rate in effect at time of building permit issuance, or, the rate in effect when the fees and charges are due and paid in full to the City. There is no vesting of any fees or charges with the approval of this Permit. **(P)**
8. Conditions. Each and every condition set forth in this Exhibit shall apply to the project and continue to apply to the project so long as the Permittee is operating the project under the permits and approvals in this Permit. **(P)**
9. Compliance with Laws. The construction, use, and all related activity authorized under this Permit shall comply with all applicable local, state, and federal laws, rules, regulations, guidelines, requirements, and policies. **(CA/P)**
10. Previous Approvals. Permittee shall abide and continue to comply with all previous City approvals, permits, or requirements relating to the subject property, unless explicitly superseded or revised by this Permit. **(P)**
11. Indemnification. To the fullest extent permitted by law, Permittee shall indemnify, defend with counsel of the City's choosing, and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to (i) City's approval of the project, including but not limited to, the approval of the discretionary permits, maps under the Subdivision Map Act, and/or the City's related determinations or actions under the California Environmental Quality Act, and (ii) Permittee's construction, operation, use, or related activity under this Permit. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. Permittee shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. Permittee shall pay to the City upon demand or, as applicable, to counsel of City's choosing, any amount owed pursuant to the indemnification requirements prescribed in this condition. **(CA)**
12. Written Response to Conditions. The Permittee shall provide a written response to the Conditions of Approval indicating how each condition has been addressed with the building permit application submittal. **(ALL)**
13. Revocation, Suspension, Modification. This Permit may be suspended, revoked, or modified in accordance with Section XI-10-63.06 of the Milpitas Zoning Code. **(P)**

14. Severability. If any term, provision, or condition of this Permit is held to be illegal or unenforceable by the Court, such term, provision, or condition shall be severed and shall be inoperative, and the remainder of this Permit shall remain operative, binding, and fully enforceable. **(CA)**
  
15. Permittee shall develop the approved project in conformance with the approved plans (date stamped January 8, 2024), approved by the Zoning Administrator in accordance with these Conditions of Approval. **(P)**  
  
Any deviation from the approved site plan, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the Permittee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Zoning Administrator or City Council, as applicable, in accordance with the Milpitas Zoning Code. **(P)**
  
16. Fire Department. The permittee shall comply with the requirements of the Fire Department and the California Fire Code, as demonstrated in the Fire Department's Memorandum, dated December 11, 2023, as may be amended by the City of Milpitas. Changes to the site plan and/or internal circulation shall be reviewed and approved by the Fire Department. **(F)**
  
17. Building Department. The permittee shall comply with the requirements of the Building, Safety and Housing Department. Building construction plans must be submitted for review and approval before construction is to commence. All applicable California Code of Regulations Title 24 and Milpitas Municipal Code requirements at the time of building permit application must be met in advance of any building permit approvals or related construction. **(B)**
  
18. Land Development Department The project/development shall comply with the requirements of the Engineering Division. Changes to the site plan shall be reviewed and approved by the Engineering Division. **(LD)**
  
19. Color of Building Enclosure. All components of the proposed enclosure will be painted to match or complement the primary building. **(P)**

- (P) = Planning
- (PO) = Police
- (F) = Fire Prevention
- (B) = Building
- (LD) = Land Development
- (CA) = City Attorney

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Jay Lee, AICP  
Principal Planner

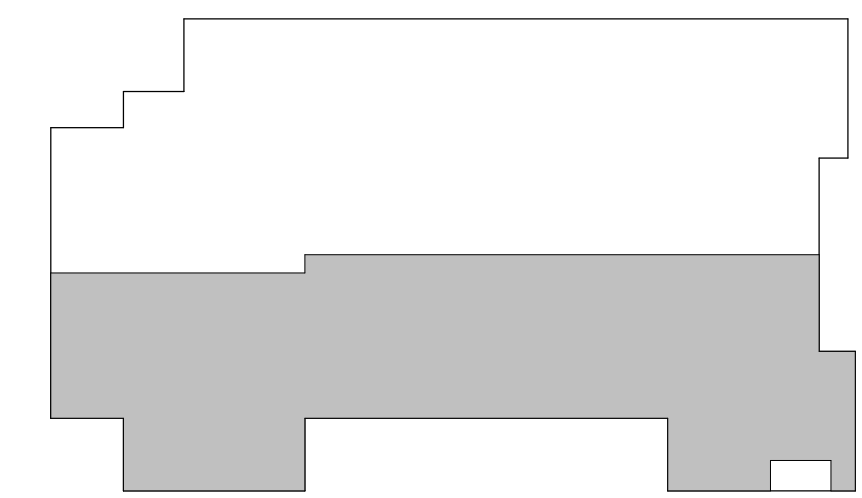
Date: \_\_\_\_\_

MP01 - Phase 2  
260 SOUTH MILPITAS  
BLVD,  
MILPITAS, CA

HGA

84 W SANTA CLARA ST, SUITE 200  
SAN JOSE, CALIFORNIA 95113  
TELEPHONE: 408.286.0851

KEY PLAN:



TENANT IMPROVEMENTS - PLANNING PCR 1  
ISSUE FOR PLANNING

PROJECT INFORMATION

PROJECT NAME:  
MP01 - TENANT IMPROVEMENTS

PROJECT ADDRESS:  
260 SOUTH MILPITAS BLVD, MILPITAS, CA 95035

PROJECT DESCRIPTION / DESIGN STATEMENT:  
PROJECT INCLUDES MINOR MODIFICATIONS TO THE EXTERIOR OF THE BUILDING INCLUDING REMOVAL OF EXISTING LOADING DOCK DOORS TO BE REPLACED WITH NEW STOREFRONT GLAZING AND REMOVAL OF EXISTING STOREFRONT GLAZING TO BE REPLACED WITH NEW ROLL UP DOORS. NEW EXTERIOR LANDSCAPING CONSISTENT WITH EXISTING LANDSCAPING WILL BE PROVIDED. NEW ROOF TRUSSES ASSOCIATED WITH INTERIOR COLUMN REMOVALS (TO CREATE CLEAR WORKING SPACE INSIDE) OCCUR ON A PORTION OF THE ROOF. THE TRUSSES, ALONG WITH NEW ROOFTOP UNITS, WILL BE SCREENED FROM VIEW WITH ROOF SCREENS. A SMALL TRANSFORMER YARD ENCLOSURE TO MATCH EXTERIOR PAINTED WALLS IS PROPOSED ON THE NORTHWEST CORNER. A NEW GENERATOR (AT THE REAR YARD) WILL BE SCREENED AS WELL.

ALL PROPOSED MODIFICATIONS TO THE BUILDING EXTERIOR WILL MATCH THE EXISTING CONSTRUCTION WITH THE INTENT TO MAKE THEM LOOK ORIGINAL TO THE BUILDING.

EXISTING USE:  
UNOCCUPIED

PROPOSED USE:  
OFFICE, F-1 OCCUPANCY

OCCUPANCY:  
B, F-1, A-3

TYPE OF CONSTRUCTION:  
III-B

FIRE SPRINKLERS:  
YES

HAZARDOUS MATERIALS:  
NO

AREA OF WORK:  
65,010 SF

EXISTING BUILDING SIZE:  
142,134 SF

ZONING DESIGNATION:  
M-2

APN:  
086-38-005

CONTACT INFORMATION

ARCHITECT: HAMMEL, GREEN AND ABRAHAMSON  
CONTACT: Scott Colson

PHONE: (408) 213-8232  
EMAIL: scolson@hga.com

CIVIL: KIER + WRIGHT  
CONTACT: Mike Clement

PHONE: (408) 727-6665  
EMAIL: mclement@kierwright.com

STRUCTURAL: DEGENKOLB  
CONTACT: Adam Hugo-Holman

PHONE: (415) 354-6485  
EMAIL: aholman@degenkolb.com

CODE INFORMATION

2022 CALIFORNIA ADMINISTRATIVE CODE (CAC)

PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)

2022 CALIFORNIA GREEN CODE

PART 11, TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)

2022 CALIFORNIA BUILDING CODE (CBC)

PART 2, TITLE 24, CCR, BASED ON THE 2021 INTERNATIONAL BUILDING CODE (IBC)

2022 CALIFORNIA ELECTRICAL CODE (CEC)

PART 3, TITLE 24, CCR, BASED ON THE 2020 NATIONAL ELECTRICAL CODE (NEC)

2022 CALIFORNIA MECHANICAL CODE (CMC)

PART 4, TITLE 24, CCR, BASED ON THE 2021 UNIFORM MECHANICAL CODE (UMC)

2022 CALIFORNIA PLUMBING CODE

PART 5, TITLE 24, CCR, BASED ON THE 2021 UNIFORM PLUMBING CODE (UPC)

2022 CALIFORNIA FIRE CODE (FC)

PART 9, TITLE 24, CCR, BASED ON THE 2021 INTERNATIONAL FIRE CODE (IFC)

LIFE SAFETY CODE:

2021 NFPA 101 LIFE SAFETY CODE

ENERGY CODE:

2022 CALIFORNIA ENERGY CODE - PART 6, TITLE 24, CCR

SIGN CODE:

AMERICANS WITH DISABILITIES ACT (ADA), CBC (TITLE 24), & UFC (TITLE 19)

2020 MILPITAS MUNICIPAL CODE:

MILPITAS MUNICIPAL CODE

FOR AREA SUMMARY OF USES PLEASE SEE SHEET 1-A011

EXISTING/PROPOSED PROJECT AND PARKING STATISTICS.

PROJECT STATISTICS	EXISTING	REQUIRED	PROPOSED	PARKING STATISTICS	EXISTING	REQUIRED	PROPOSED
GROSS LOT AREA	7.28 AC	--	N/A	STANDARD SPACES	284		292
NET LOT AREA	7.28 AC	--	N/A	COMPACT SPACES	149		149
TOTAL FLOOR AREA	142,134 sf	--	EXISTING	PERCENT COMPACT	33.7%		33.1 %
ADDITIONAL FLOOR AREA (IF ADDING AREA)	0	N/A	N/A	COVERED SPACES	0		0
OPEN SPACE CALCULATION	EXISTING	--	EXISTING	UNCOVERED SPACES	442		450
LOT COVERAGE	EXISTING	--	EXISTING	GUEST SPACES	0		0
HEIGHT	26'-6"***	--	26'-6"***	HANDICAPPED CAR SPACES	7		7
NUMBER OF STORIES	1	--	1	MOTORCYCLE SPACES	0		0
FRONT SETBACK	100'+/-	--	EXISTING	CAR SHARE SPACES	0		0
REAR SETBACK	10'+/-	--	EXISTING	EV SPACES	0		0
SIDE YARD SETBACK(S)	30'+/-	--	EXISTING	EV HANDICAPPED SPACES	0		0
NUMBER OF UNIT(S) OR TENANT SPACE(S)	1	--	1	SHORT TERM BICYCLE PARKING	0		0
				LONG TERM BICYCLE PARKING	0		0

\*EXISTING FOOT PRINT TO REMAIN. NO ADDITIONAL SQUARED FOOTAGE PROPOSED.

\*\*BUILDING HEIGHT DOES NOT INCLUDE TRUSSES PER PLANNER (KRISHNA KUMAR - kkumar@milpitas.gov).

DRAWING INDEX - GENERAL - 1

NUMBER	SHEET NAME
1-G000	COVERSHEET
1-G020	LIFE SAFETY CALCULATIONS
1-G021	OVERALL LIFE SAFETY PLAN

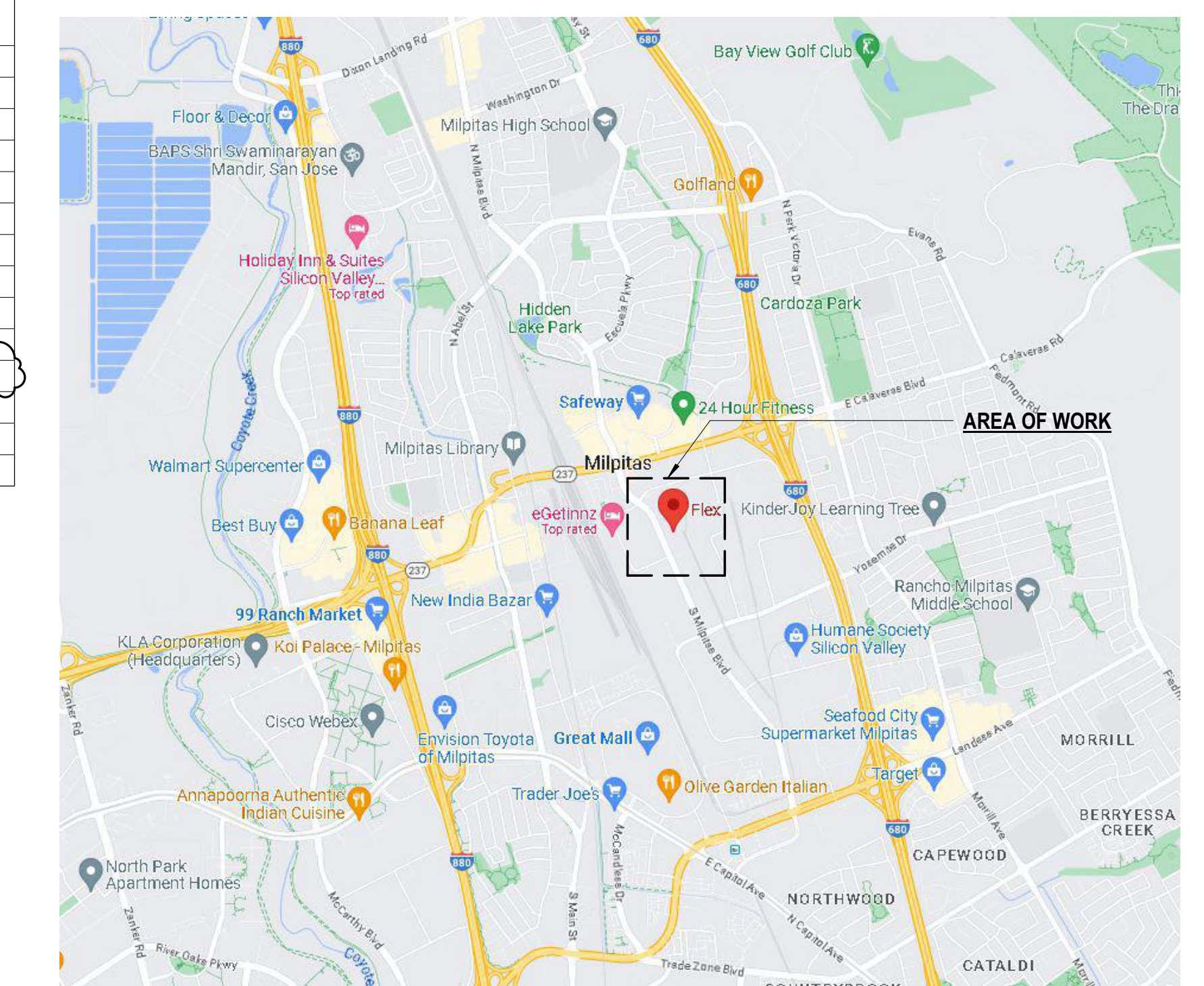
DRAWING INDEX - ARCHITECTURAL - 1

NUMBER	SHEET NAME
1-A011	EXISTING & PROPOSED USES
1-A022	CONCEPTUAL SITE PLAN
1-A030	ENLARGED SITE PLANS
1-A040	SITE PLAN DETAILS
1-A101	OVERALL DEMOLITION PLAN
1-A101	OVERALL FLOOR PLAN
1-A401	EXISTING EXTERIOR ELEVATIONS
1-A402	PROPOSED EXTERIOR ELEVATIONS & ENLARGED PLAN
1-A403	ARCHITECTURAL SIGHT LINES STUDY
1-A404	ARCHITECTURAL SIGHT LINES STUDY
1-A410	SECTIONS
1-A440	3D VIEWS - EXISTING
1-A441	3D VIEWS - PROPOSED

HGA COMMISSION NUMBER: 3649-236-01

JANUARY 8, 2024

MAP: 260 MILPITAS BLVD, MILPITAS, CA 95035



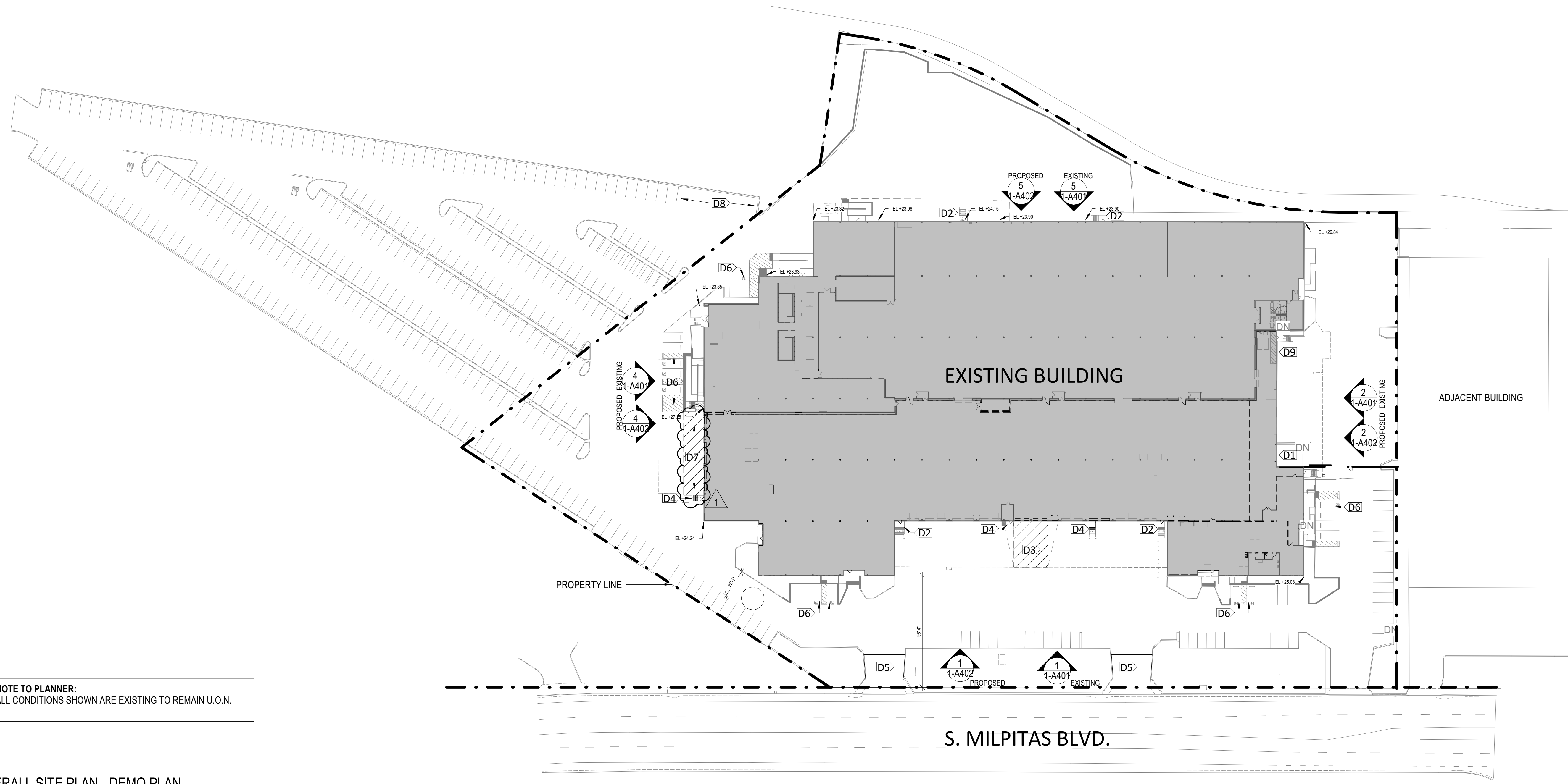
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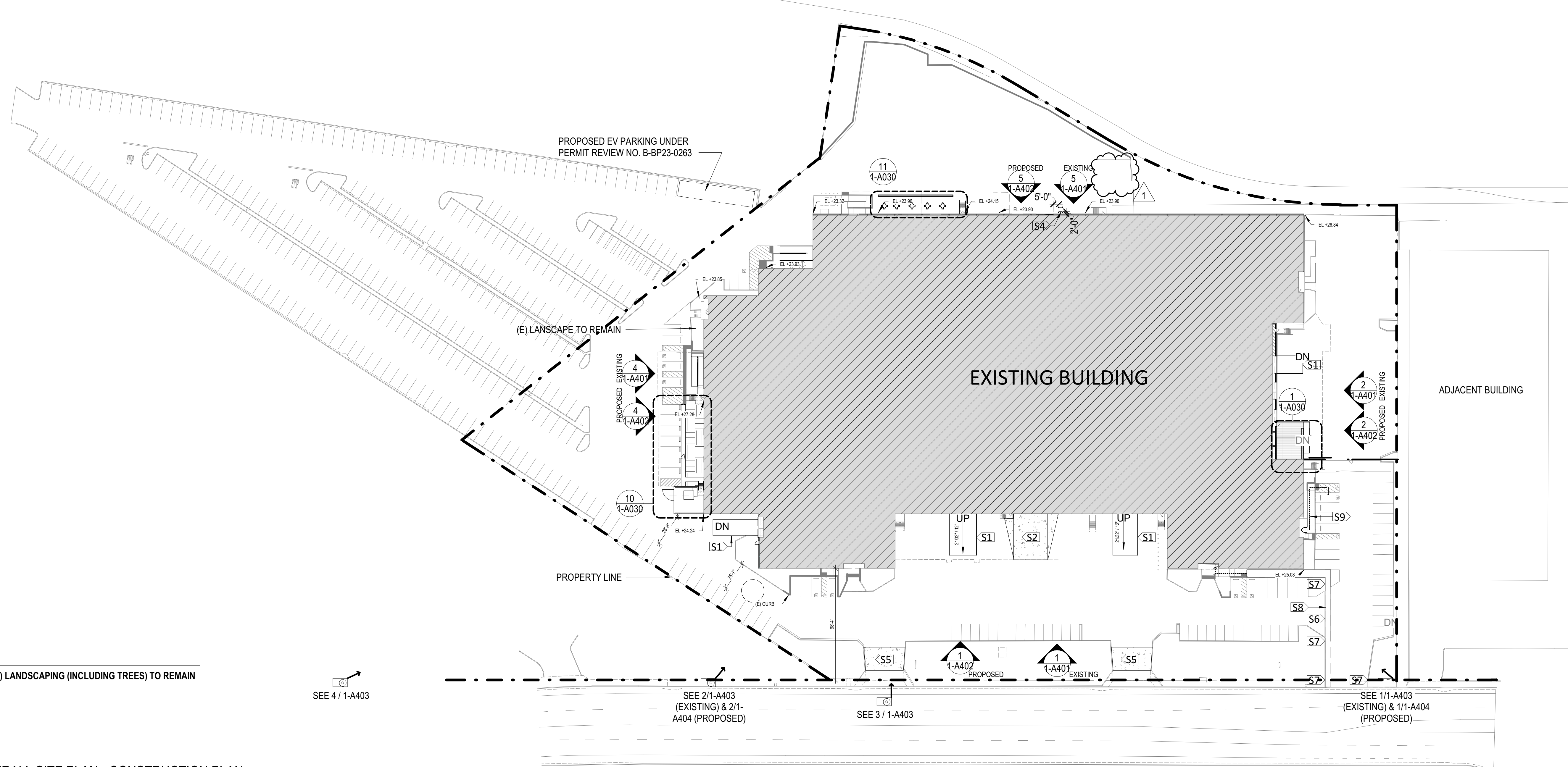








6 OVERALL SITE PLAN - DEMO PLAN  
1" = 50'-0"



16 OVERALL SITE PLAN - CONSTRUCTION PLAN  
1" = 50'-0"

KEYNOTES - DEMOLITION SITE PLAN	
#	DESCRIPTION
D1	(E) LOADING DOCK RAMP TO REMAIN.
D2	(E) STAIRS TO REMAIN.
D3	DEMO (E) LOADING DOCK. SEE SITE PLAN 16/--- FOR PROPOSED WORK.
D4	DEMO (E) STAIRS.
D5	FLATTEN (E) DRIVE WAY ENTRANCE.
D6	(E) ACCESSIBLE PARKING AND STRIPING TO REMAIN.
D7	PREPARE HATCHED AREA TO RECEIVE NEW LANDSCAPING. SEE SITE PLAN 16/--- FOR MORE INFORMATION.
D8	EV PARKING UNDER SEPARATE PERMIT REVIEW.
D9	(E) DUMPSTERS TO BE REMOVED.

HGA

84 W Santa Clara Street  
Suite 200  
San Jose, California 95113  
Telephone 408.288.7833

GENERAL CONTRACTOR

DEVCON CONSTRUCTION  
690 GIBRALTAR DR  
MILPITAS, CA 95035  
(408)-942-8200

CIVIL ENGINEER

KIER & WRIGHT  
2850 COLLIER CANYON RD  
LIVERMORE, CA 94551  
(925)-245-8796

STRUCTURAL ENGINEER

DEGENKOLB ENGINEERS  
375 BEALE ST SUITE 500  
SAN FRANCISCO, CA 94105  
(415)-392-6952

MECHANICAL & PLUMBING ENGINEER

UNITED MECHANICAL  
2161 OAKLAND ROAD  
SAN JOSE, CA 95131  
(408)-433-5203

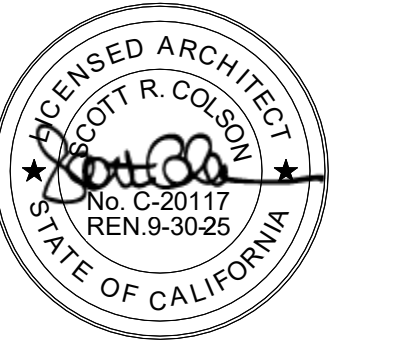
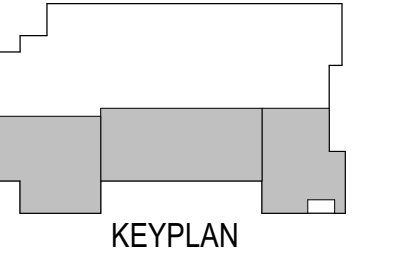
ELECTRICAL ENGINEER

REDWOOD ELECTRIC GROUP  
2775 NORTHWESTERN PKWY  
SANTA CLARA, CA 95054  
(408)-450-4800

MP01

TENANT IMPROVEMENTS BUILDING PACKAGE - PHASE 2

KEYNOTES - PROPOSED SITE PLAN	
#	DESCRIPTION
S1	NEW LOADING DOCK RAMP DOWN. PROVIDE 48" CHANGE IN ELEVATION FROM INTERIOR FINISHED FLOOR.
S2	PATCH AND REPAIR (E) ASPHALT AS REQUIRED. SEE CIVIL DWGS.
S4	PROPOSED STORAGE CAGE WITH BOLLARDS AT EACH CORNER. STORAGE CAGE SPEC: ULINE H-7010. SEE CIVIL DWGS.
S5	LEVEL HUMP @ (E) ASPHALT.
S6	PROVIDE NEW STRIPING FOR PEDESTRIAN PATH OF TRAVEL.
S7	PROVIDE NEW TRUNCADED DOMES.
S8	ACCESSIBLE PATH OF TRAVEL TO PUBLIC RIGHT OF WAY
S9	ACCESSIBLE PATH OF TRAVEL TO ACCESSIBLE PARKING STALL.



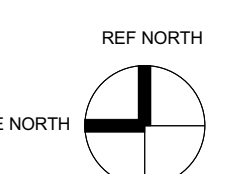
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	ISSUE FOR PLANNING	10/16/2023
1	PLANNING PCR1	01/05/2024

HGA NO. 3649-236-01

CONCEPTUAL SITE PLAN

ISSUE FOR PLANNING

1-A022



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 MP01-4PHASE-2-2001-S-Milpitas-52412-235-01-architectural.rvt



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## MECHANICAL & PLUMBING ENGINEER

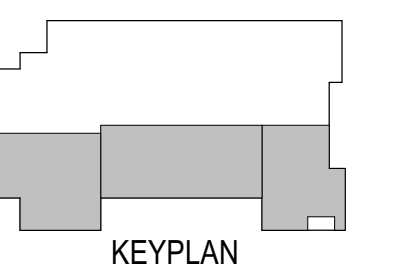
UNITED MECHANICAL  
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2775 NORTHWESTERN PKWY  
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## MP01

### TENANT IMPROVEMENTS BUILDING PACKAGE - PHASE 2



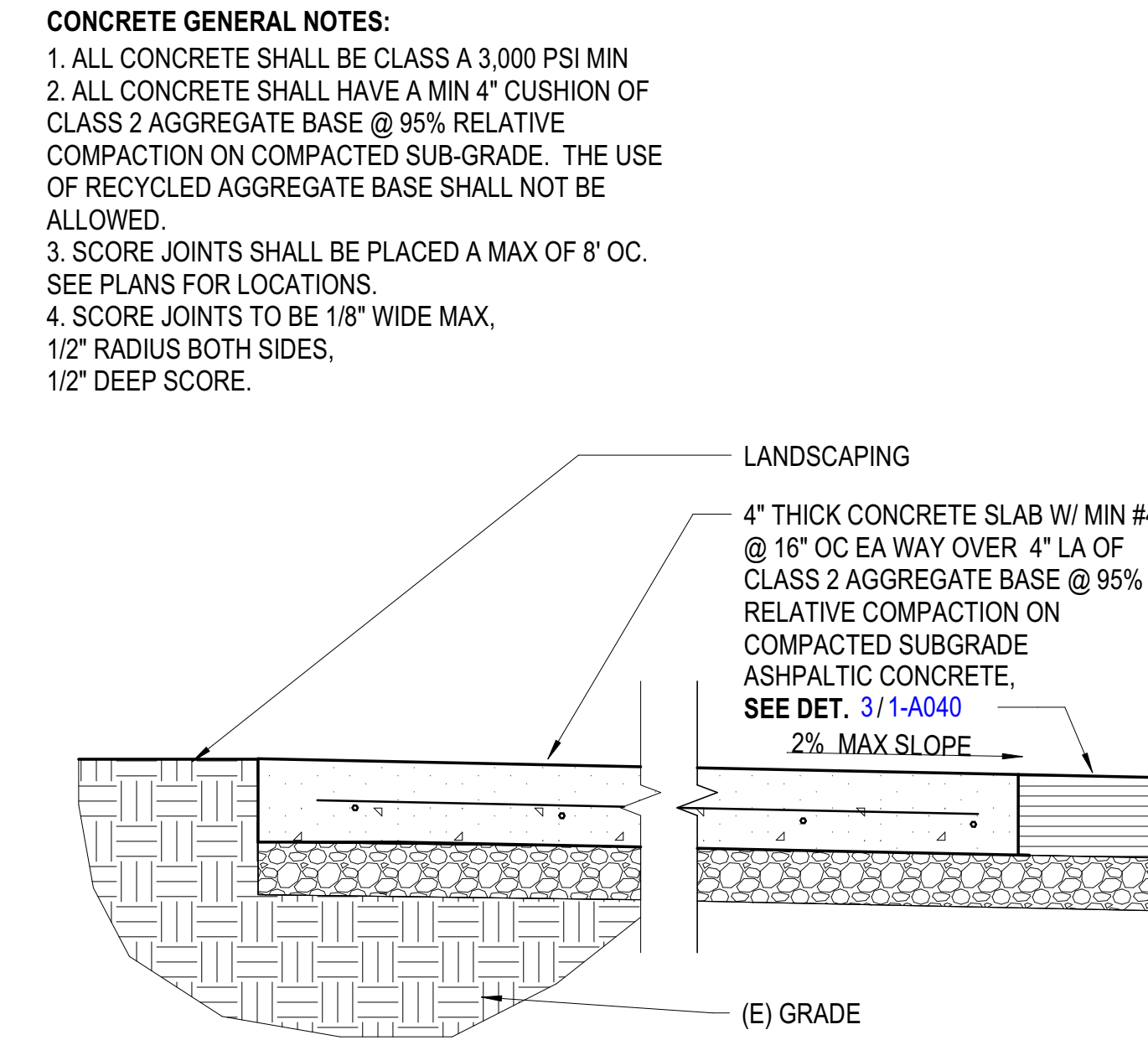
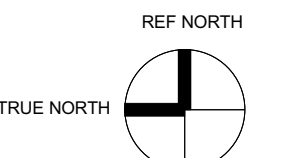
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HGA NO. 3649-236-01

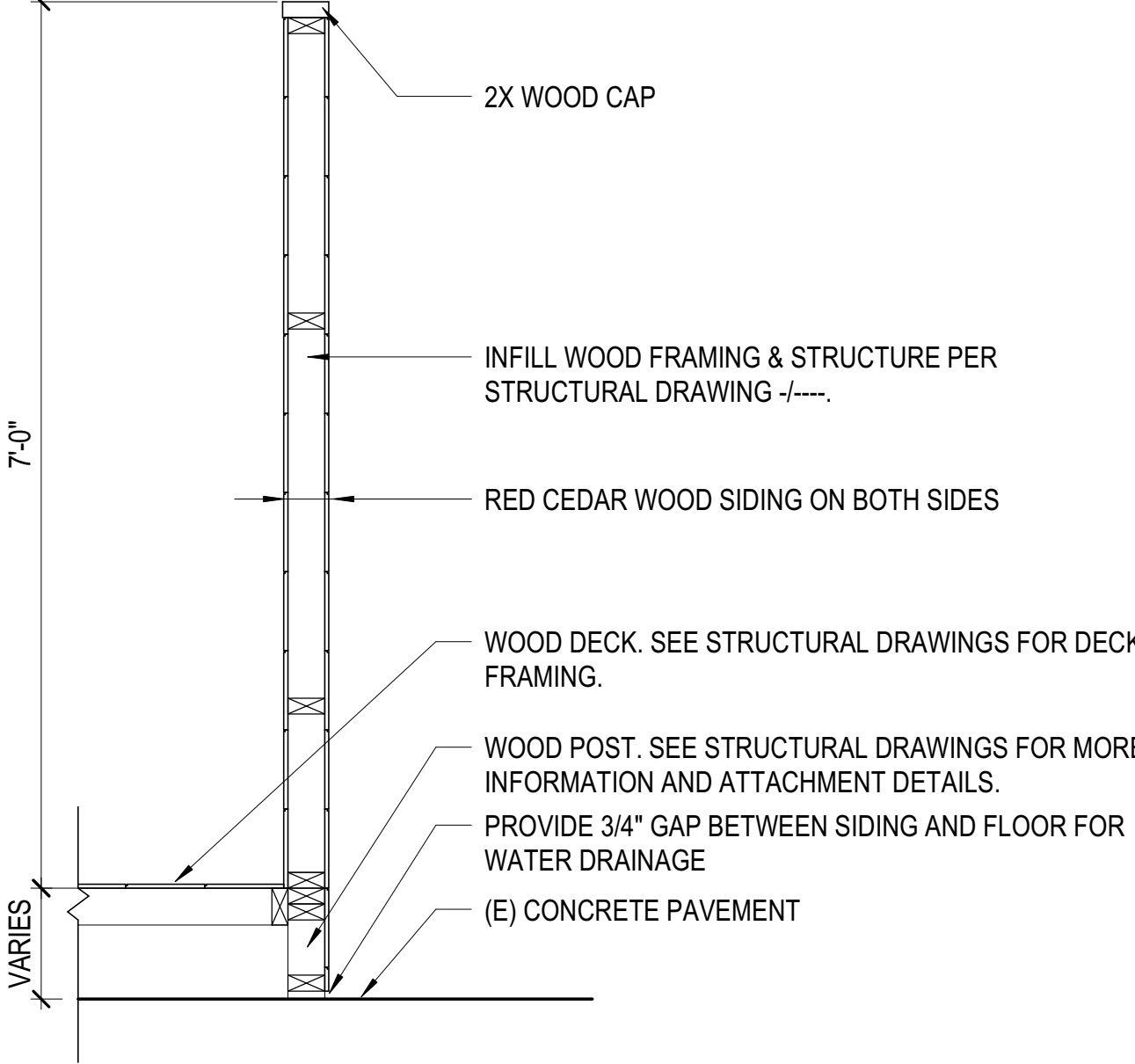
## SITE PLAN DETAILS

### ISSUE FOR PLANNING

# 1-A040

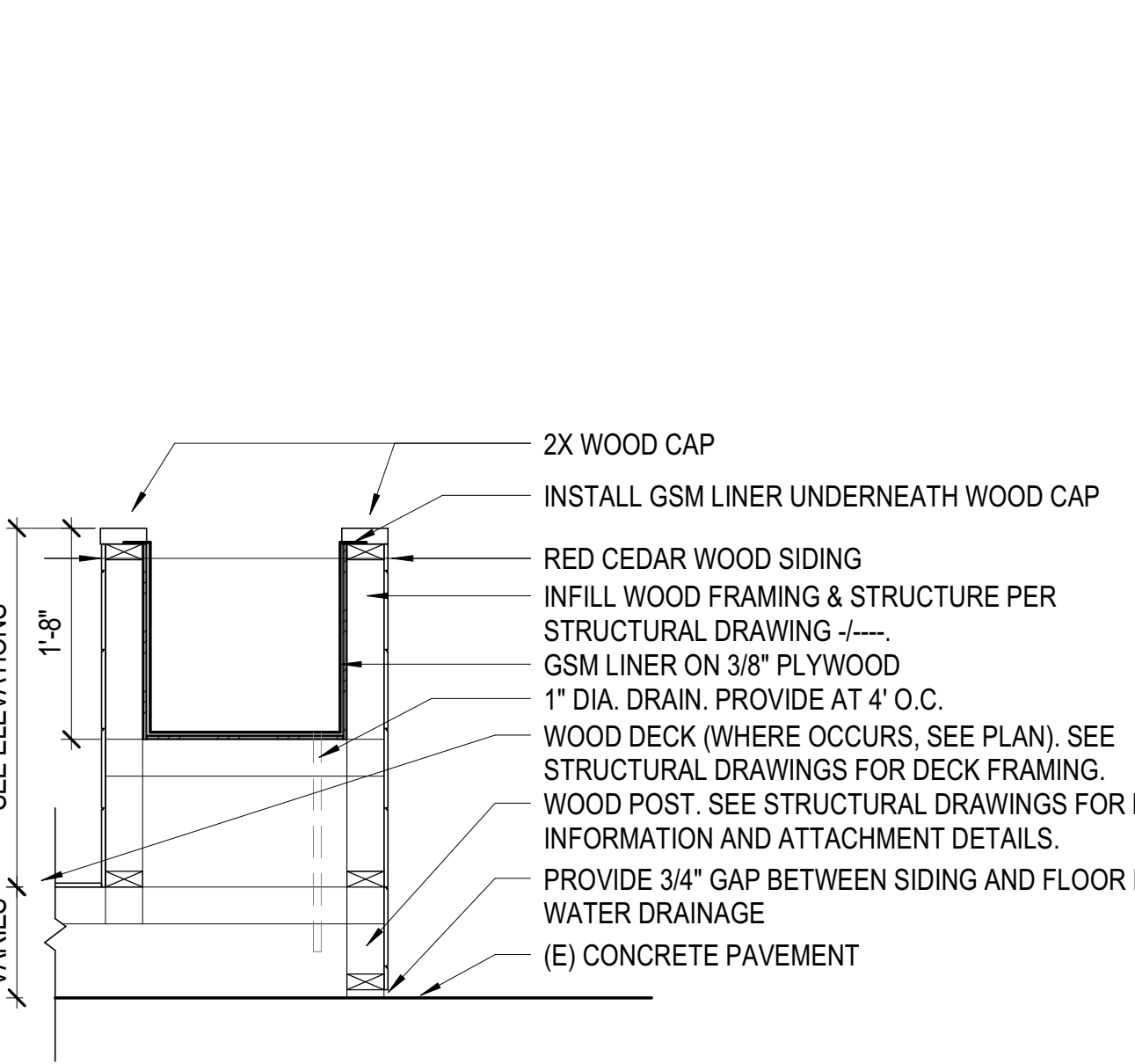


2 SECTION DETAIL @ CURB WALKWAY  
1 1/2" = 1'-0"

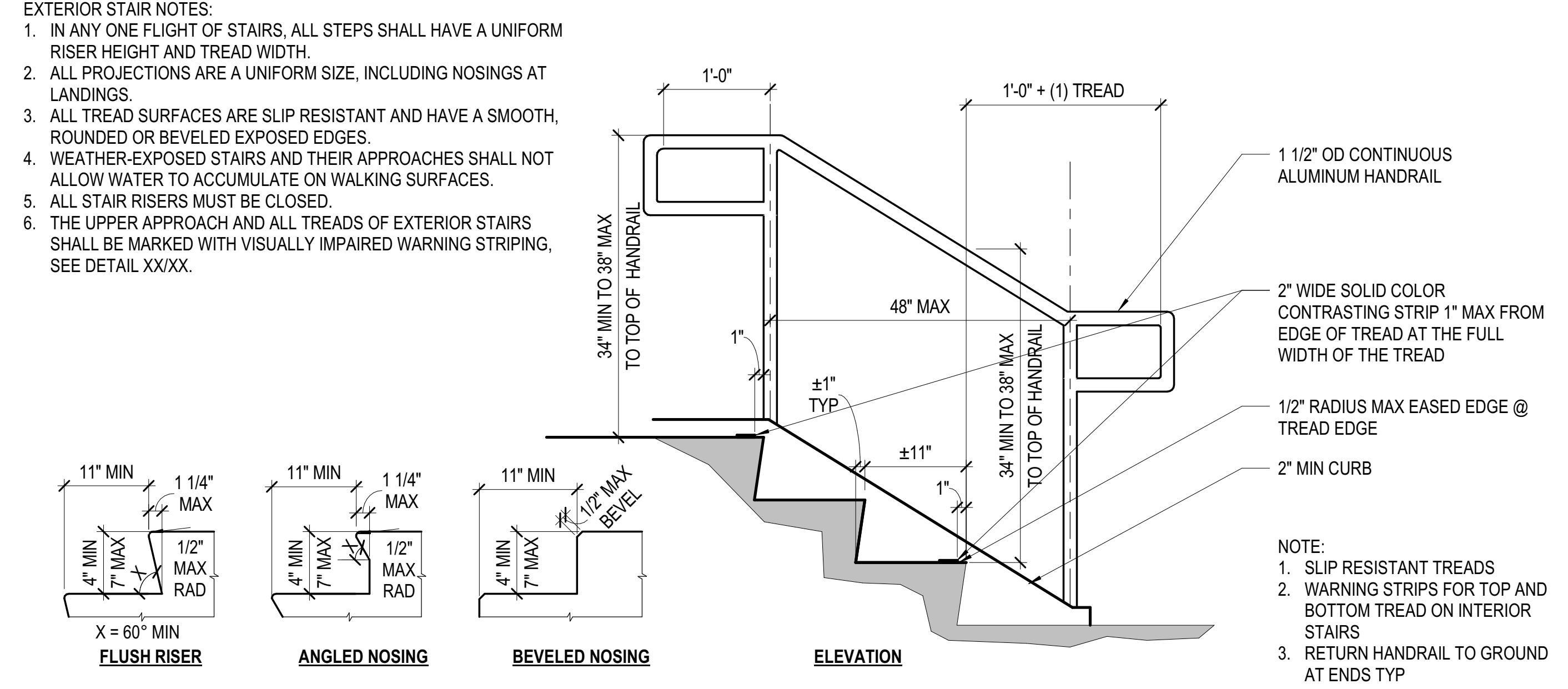
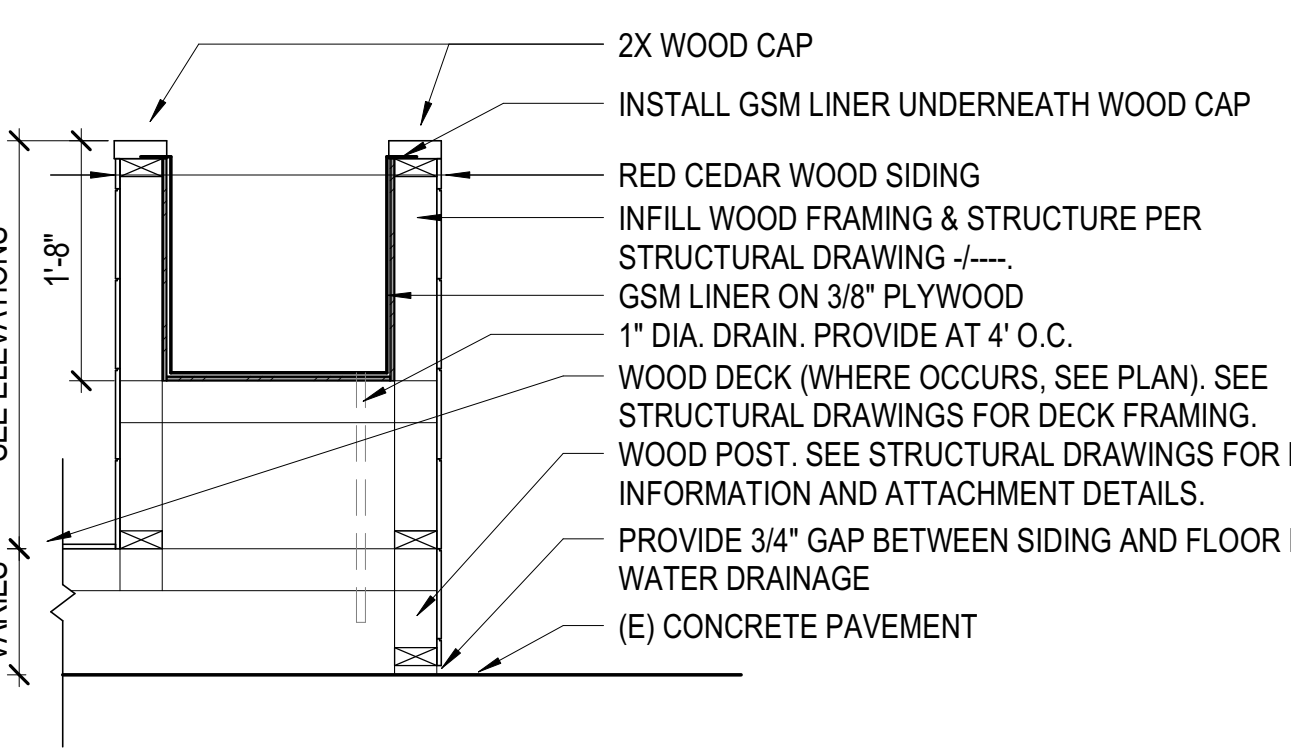


7 WOOD SIDING PARTITION SECTION DETAIL  
3/4" = 1'-0"

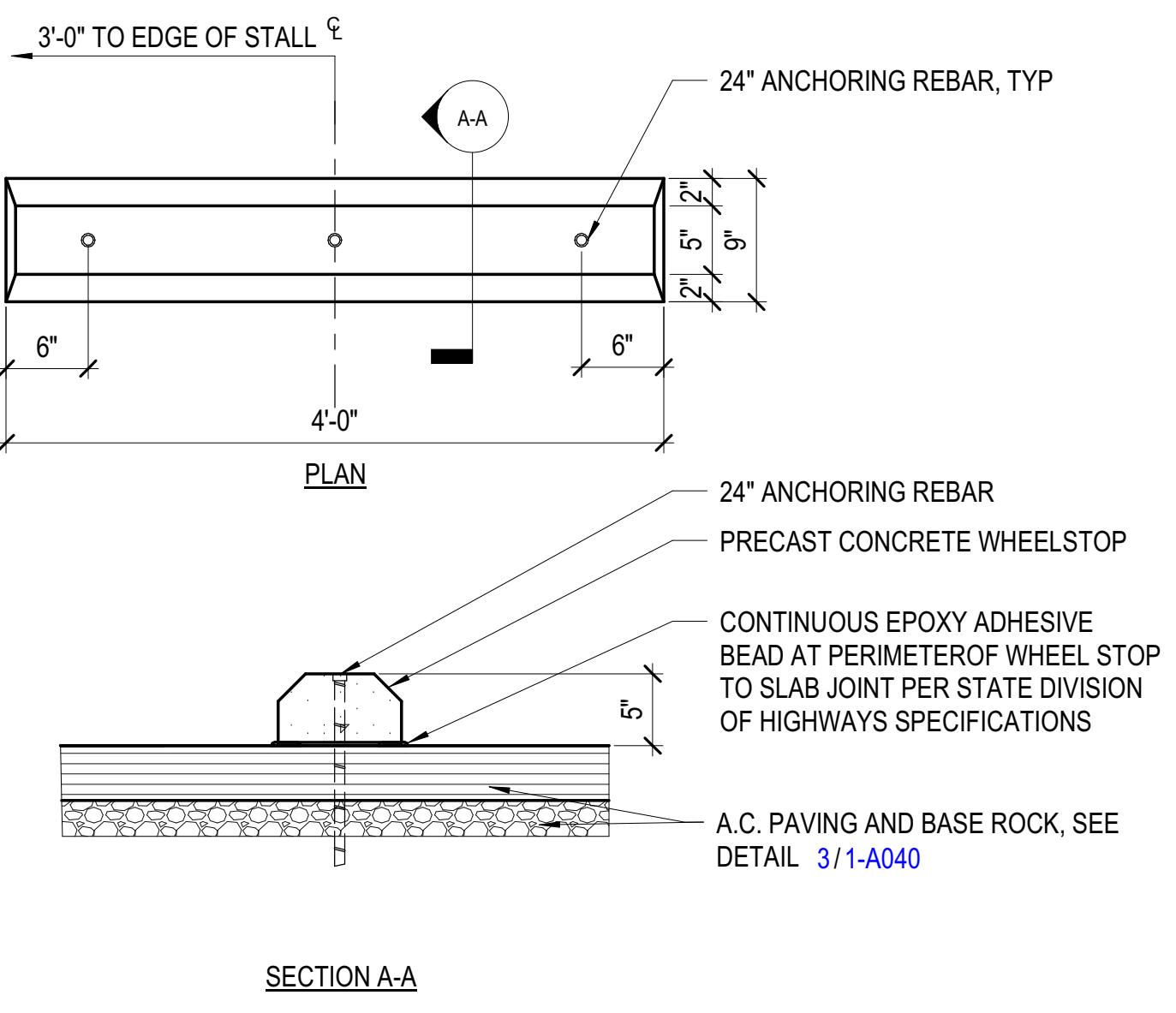
3 AC PAVEMENT SECTION  
3" = 1'-0"



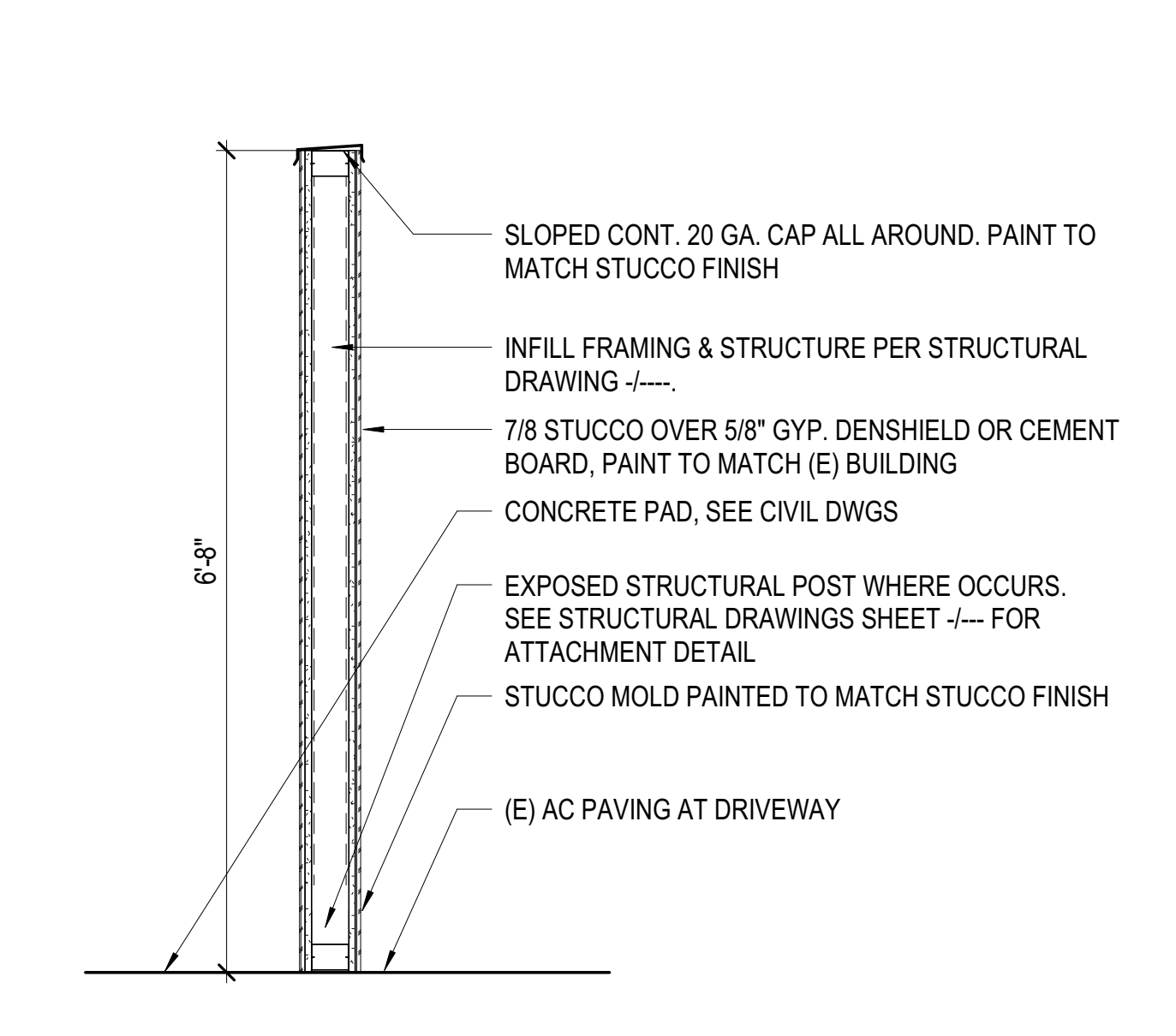
8 WOOD SIDING PLANTER SECTION DETAIL  
3/4" = 1'-0"



4 STAIR AND HANDRAIL  
1" = 1'-0"



1 WHEELSTOP DETAIL  
1" = 1'-0"



6 ENCLOSURE PARTITION SECTION DETAIL  
3/4" = 1'-0"

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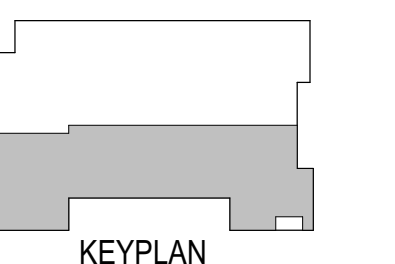
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TENANT IMPROVEMENTS  
BUILDING PACKAGE -  
PHASE 2



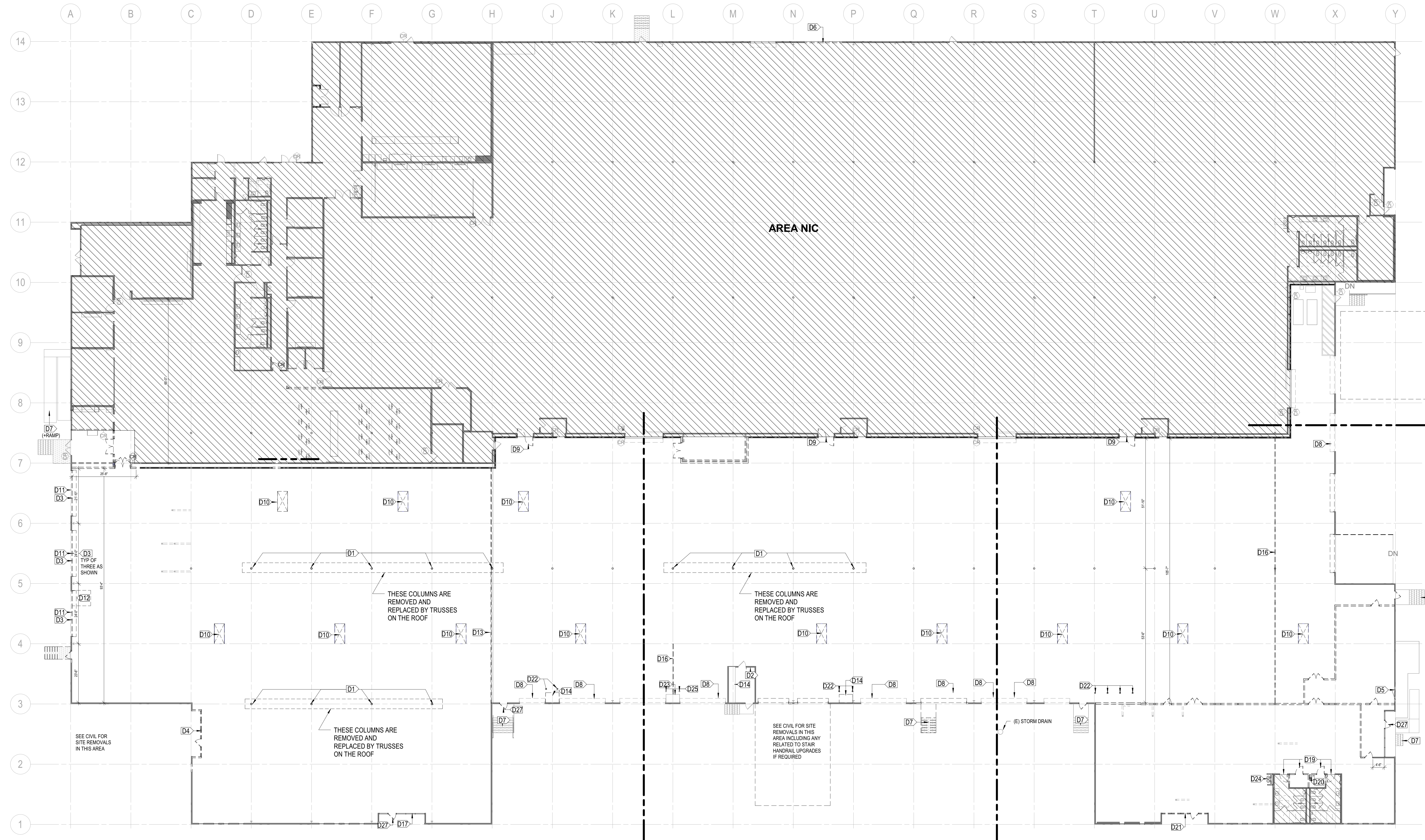
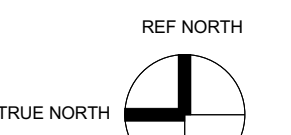
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	ISSUE FOR PLANNING	10/16/2023

ISSUANCE HISTORY - THIS SHEET  
HGA NO: 3649-236-01

**OVERALL DEMOLITION PLAN**

**ISSUE FOR PLANNING**

1-A101



**1 OVERALL DEMOLITION PLAN - 8**  
1/16" = 1'-0"

#	DESCRIPTION
D1	(E) COLUMNS IN THIS STAGE AREA TO BE REMOVED, TYP. S.S.D
D2	(E) ROOF HATCH AND LADDER TO BE REMOVED AND RELOCATED
D3	(E) ROLL UP DOOR TO BE REMOVED
D4	(E) STOREFRONT SYSTEM TO BE REMOVED
D5	CREATE NEW OPENING FOR WINDOW (SEE CONSTRUCTION PLAN AND ELEVATIONS FOR EXACT LOCATION AND STRUCTURAL DRAWINGS)
D6	CREATE OPENING FOR NEW ROLL UP DOOR (SEE ELEVATION AND STRUCTURAL DRAWINGS)
D7	(E) STAIR TO REMAIN
D8	(E) DOCK LEVELER TO REMAIN
D9	(E) DOOR AND FRAME TO BE REMOVED. FOR NEW DOORS THAT SWING IN SINGLE DIRECTION - SEE CONSTRUCTION PLAN.
D10	(E) SKYLIGHTS TO BE REMOVED.
D11	(E) DOCK BUMPERS TO BE REMOVED. PATCH THE HOLES AND PAINT OVER THE NUMBER.
D12	(E) DOCK LEVELER TO BE REMOVED.
D13	(E) DRAFT STOP TO BE REMOVED.
D14	(E) ELECTRICAL AND MECHANICAL EQUIPMENT TO BE REMOVED
D16	(E) METAL DRAFT STOP TO BE REMOVED
D17	(E) STOREFRONT TO REMAIN. (E) FILM TO BE REMOVED
D19	SALVAGE DOOR FRAME, PANEL, AND HARDWARE FOR REUSE
D20	RELOCATE (E) WATER HEATER AND FLOOR SINK
D21	(E) STOREFRONT DOOR TO BE REMOVED AND REPLACED. SEE CONSTRUCTION PLAN

#	DESCRIPTION
D22	REMOVE AND SALVAGE (E) BOLLARDS.
D23	(E) SPRINKLER EQUIPMENT TO REMAIN
D24	SALVAGE (E) DRINKING FOUNTAIN AND RELOCATE AS SHOWN ON CONSTRUCTION PLAN
D25	(E) BOLLARDS TO REMAIN
D27	(E) DOOR TO BE REMOVED

- LIST OF SALVAGE ITEMS FOR REUSE:
- ROOF LADDER AND HATCH
  - REMOVE ALL EXIT SIGNS IN PHASE 2 AREA FOR POTENTIAL REUSE.
  - FIRE EXTINGUISHERS
  - WATER HEATER
  - DRINKING FOUNTAIN
  - RR DOORS
  - BOLLARDS

SEE CONSTRUCTION PLAN FOR FLOOR CORE LOCATIONS AND PROVIDE SLAB REMOVALS FOR PATHWAYS TO LOCATIONS AS REQUIRED BY ELECTRICAL DRAWINGS.

REVIEW ELECTRICAL DRAWINGS FOR ANY ADDITIONAL FLOOR CORE PATHWAYS NOT SHOWN ON CONSTRUCTION PLAN.

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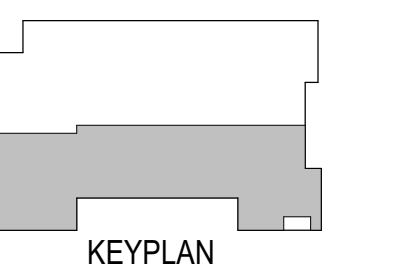
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**TENANT IMPROVEMENTS BUILDING PACKAGE - PHASE 2**



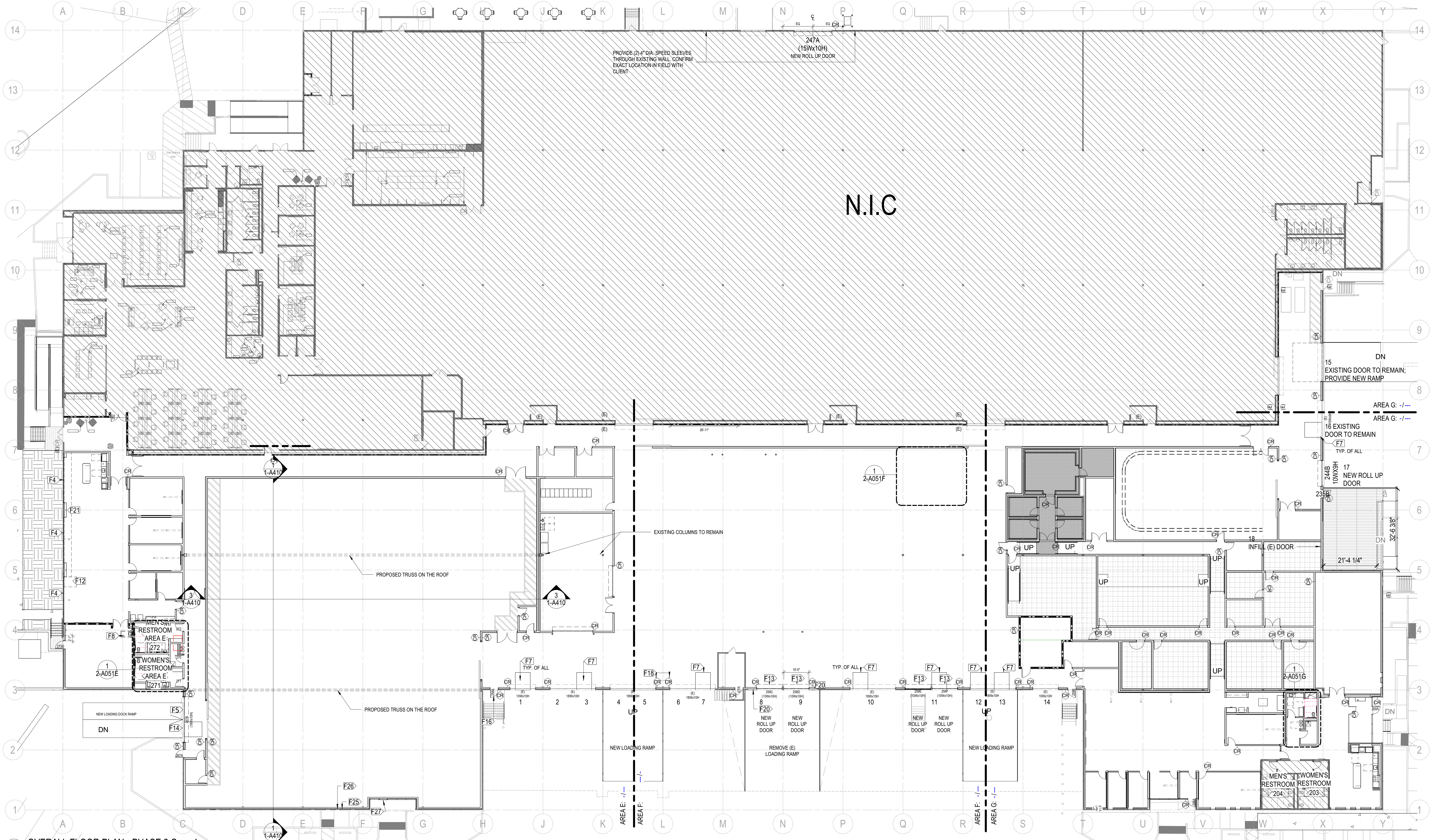
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	ISSUE FOR PLANNING	10/16/2023

HGA NO: 3649-236-01

**OVERALL FLOOR PLAN**

**ISSUE FOR PLANNING**

**1-A201**



**1 OVERALL FLOOR PLAN - PHASE 2 Copy 1**  
1/16" = 1'-0"

**GENERAL NOTES - FLOOR PLAN**

- ALL PARTITIONS ARE DIMENSIONED TO FINISH FACE OF GYPSUM BOARD (U.O.N.). ALL VERTICAL DIMENSIONS ARE ABOVE FINISHED FLOOR. ALL DIMENSIONS TO EXTERIOR WINDOW WALL ARE TO INSIDE EDGE OF WINDOW FLOOR PLATE (U.O.N.).
- DURING LAYOUT OF PARTITIONS AND DOOR OPENINGS, VERIFY THAT A MINIMUM OF 18" CLEAR TO THE NEAREST RETURNING PARTITION, PERMANENT FIXTURE OR MILLION AT THE LATCH SET PULL SIDE OF ALL DOORS. NOTIFY ARCHITECT OF NON-CONFORMING CONDITIONS.
- PROVIDE NECESSARY BACKING FOR WALL-MOUNTED ITEMS INCLUDING BUT NOT LIMITED TO CABINETS, HANDRAILS, COUNTERS, GRAB BARS, LOCKERS, AND FIXTURES.
- ABOVE-CEILING BRACING FOR DOOR FRAME IS NOT REQUIRED AT DOOR JAMBS LOCATED 6" OR LESS FROM 90 DEGREE PARTITION INTERSECTION.
- PATCH AND REPAIR GYPSUM BOARD SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE NEW WORK IS TO OCCUR.
- PATCH AND REPAIR ALL EXISTING WALLS, FLOORS AND CEILINGS TO REMAIN THAT WERE DAMAGED DURING DEMOLITION TO THE SATISFACTION OF THE BUILDING OWNER.
- ALL THROUGH PENETRATIONS OF NEW OR EXISTING FIRE AND SMOKE-RATED WALL AND FLOOR ASSEMBLIES SHALL BE PROTECTED TO MEET THE REQUIREMENTS OF CBC CHAPTER 7. PROVIDE U.L.-APPROVED THROUGH-PENETRATION FIRESTOP SYSTEMS AROUND ALL PENETRATIONS TO MATCH THE ADJACENT WALL RATING. ALL CABLE PENETRATIONS SHALL BE SLEEVED AND CAULKED AS REQUIRED FOR U.L. LISTING. PROVIDE SMOKE AND FIRE DAMPERS AT ALL DUCT PENETRATIONS IN RATED FLOOR OR WALL ASSEMBLIES IN ACCORDANCE WITH CBC SECTIONS 717.2 AND 717.5.
- AT ACOUSTICALLY-INSULATED WALLS, ALL GYPSUM BOARD PERIMETERS, VERTICAL JOINTS, CUTOUTS, OUTLETS AND OTHER PENETRATIONS SHALL BE COMPLETELY CAULKED WITH NON-HARDENING, PERMANENT, RESILIENT ACOUSTICAL SEALANT.

- UNLESS OTHERWISE NOTED, STUDS FOR PARTITIONS MORE THAN 14 FEET IN HEIGHT SHALL BE MINIMUM 20 GA. OR HEAVIER. PROVIDE MIN. 20 GA. STUDS AT ALL LOCATIONS TO RECEIVE MILLWORK UPPER CABINETS OR SIMILAR FURNITURE ITEMS.
- FIRE / SMOKE RATED ASSEMBLIES SHALL BE LABELED WITH PERMANENT STENCILING IN ACCESSIBLE CONCEALED LOCATIONS PER 703.7. COORDINATE LOCATION AND STYLE OF STENCIL WITH BUILDING OWNER. WHERE IT IS NOT FEASIBLE TO LOCATE STENCIL OUT OF PUBLIC VIEW COORDINATE WITH ARCHITECT AND OWNER.
- ALL NEW STOREFRONTS TO RECEIVE MAX U-FACTOR .41/SIGMC MAX .26.
- GENERAL CONTRACTOR

**LEGEND - PARTITION PLAN**

TYPE	DETAIL	DESCRIPTION
	7 / 4-A660 (SIM.)	EXISTING CONSTRUCTION TO REMAIN
	6 / 4-A660 (SIM.)	EXTEND WALL HEIGHTS IF REQUIRED TO MIN. 6" ABOVE WHERE ACT-2 CEILING PROVIDED ON REFLECTED CEILING PLAN 4-A301.
	7 / 4-A660	EXTEND WALL HEIGHTS TO UNDERSIDE OF STRUCTURE WHERE ACT-1 CEILING PROVIDED ON REFLECTED CEILING PLAN 4-A301. GENERAL CONTRACTOR TO REVIEW (E) WALL HEIGHTS IN FIELD ALONG SIDE CEILING HEIGHTS INDICATED.
	4-A700	NON-RATED PARTITION TO MATCH ADJACENT EXISTING
		DOOR AND NUMBER
		SEMI-RECESSED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER-TYPE 2A-10BC
		TACTILE SIGN.
		KEYED NOTE
		RAISED ACCESS FLOOR SYSTEM GLOBAL IFS TEC CRETE 1250 PANELS WITH PEDESTALS SUPPORTS, RAMPS, STEPS, AND VERTICAL CLOSURE TRIM. PANEL FINISH: NON-CONDUCTIVE (CONFIRM WITH VENDOR)
		FLOATING FLOOR AND RAMPS PER ACOUSTICAL DETAILS PER DETAIL 4-100 SEE FINISH PLAN FOR FLOOR FINISH.

- EXTERIOR ROLL UP DOORS:**
- ALL ROLL UP DOORS ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
  - ROLL UP DOORS ARE 10' TALL, EXCEPT #8-9, WHICH ARE 15' TALL.
  - PROVIDE NEW CARDREADERS ON ALL EXTERIOR ROLL UP DOORS

- EXTERIOR SWING DOORS:**
- REPLACE EXISTING EXTERIOR SWING DOORS WITH NEW TO MATCH EXISTING DOORS TO ALLOW FOR PREP OF NEW HARDWARE

**KEYNOTES**

#	DESCRIPTION
F4	NEW STOREFRONT. SEE ELEVATION FOR MORE INFO.
F7	(E) DOCK LEVELER TO REMAIN
F8	(E) ROOF HATCH AND LADDER RELOCATED AS SHOWN. S.S.D
F12	INFILL (E) PORTION OF SLAB TO LEVEL DEPRESSED, 24" DEEP. S.S.D
F13	PROVIDE NEW MOTORIZED ROLL UP DOOR 10' TALL. SEE PLAN FOR WIDTH
F14	PROVIDE NEW BUMPER
F16	REPLACE DOOR TO MATCH (E) TO ACCOMMODATE NEW DOOR HARDWARE
F18	(E) BOLLARD TO REMAIN
F20	INFILL OPENING AT EXTERIOR WALL FOR NEW ROLL UP DOOR. S.S.D
F21	PROVIDE FLOOR LEVELING OF SLOPE IN (E) SLAB
F25	PROVIDE FULL HEIGHT FURRING ALONG THIS WALL. 6" STUDS FULL HEIGHT WITH GYP BD. ONE SIDE
F26	PROVIDE OPAQUE GLAZING FILM ON INTERIOR SURFACE OF GLAZING PRIOR TO ERECTING STUD FURRING
F27	PERMANENTLY CLOSE AND LOCK (E) DOOR.

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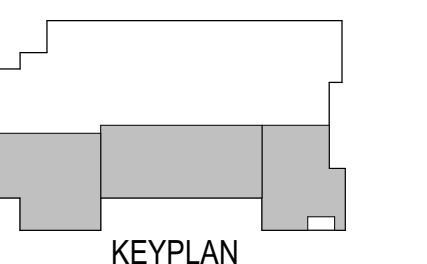
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TENANT IMPROVEMENTS BUILDING PACKAGE - PHASE 2



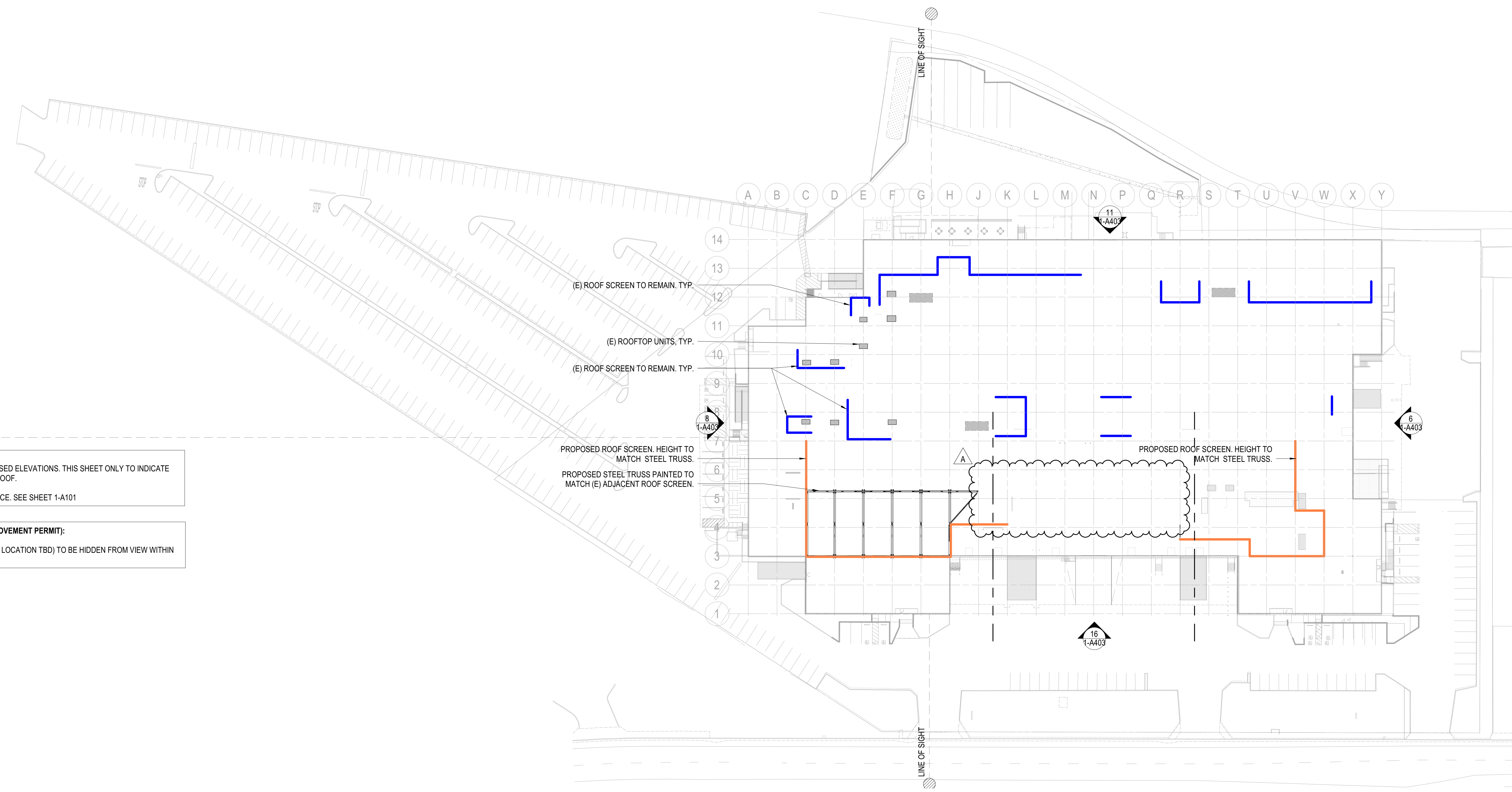
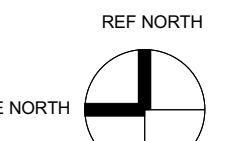
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	ISSUE FOR PLANNING	10/16/2023
A	CLIENT REV. 1	01/05/2024

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ARCHITECTURAL SIGHT LINES STUDY

ISSUE FOR PLANNING

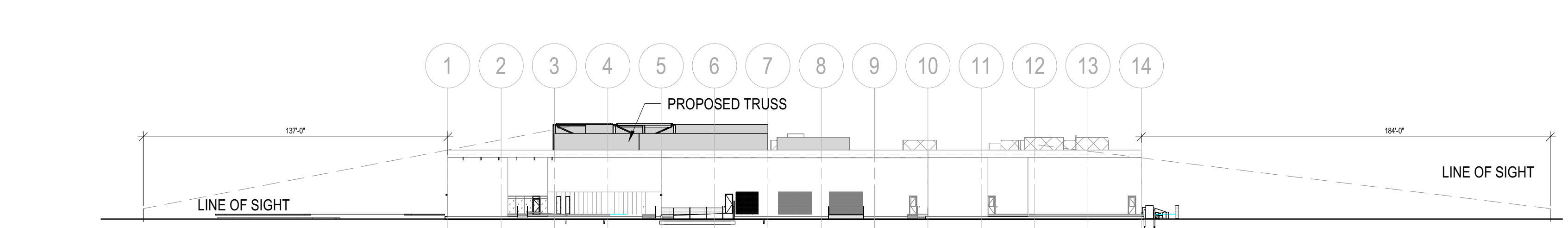
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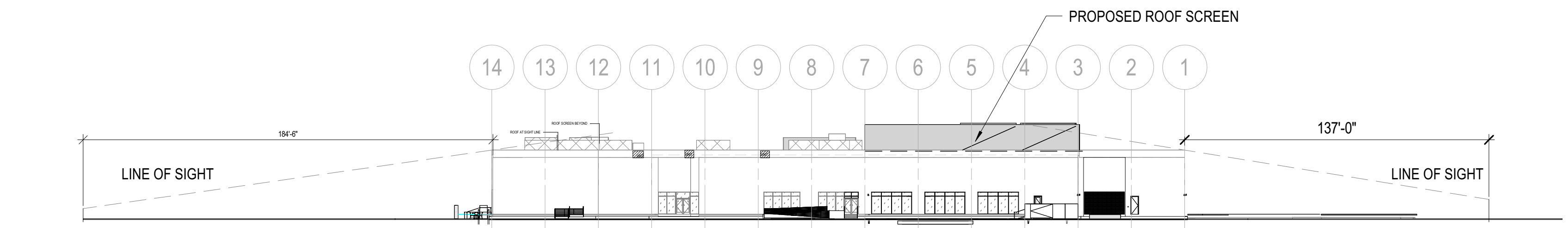
**NOTE TO PLANNER:**  
SEE SHEETS 1-A401 AND 1-A402 FOR EXISTING AND PROPOSED ELEVATIONS. THIS SHEET ONLY TO INDICATE THE SIGHTLINES STUDY RELATED TO THE TRUSS ON THE ROOF.  
TRUSSES RELATED TO COLUMN REMOVAL WITHIN THE SPACE. SEE SHEET 1-A101

**NOTE (TO BE SUBMITTED UNDER SEPARATE TENANT IMPROVEMENT PERMIT):**  
THERE WILL BE (N) ROOFTOP UNITS (EXACT QUANTITY AND LOCATION TBD) TO BE HIDDEN FROM VIEW WITHIN EXISTING OR NEW ROOF SCREENS

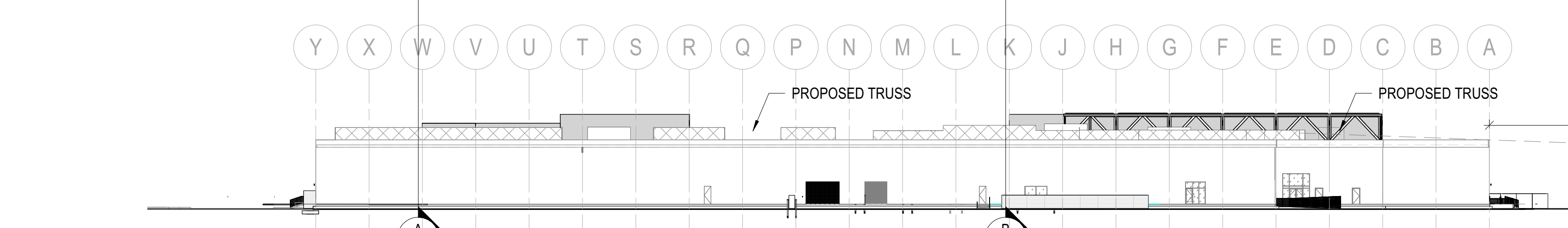
1 ROOF PLAN - WITH LINE OF SIGHT STUDY  
1" = 40'-0"



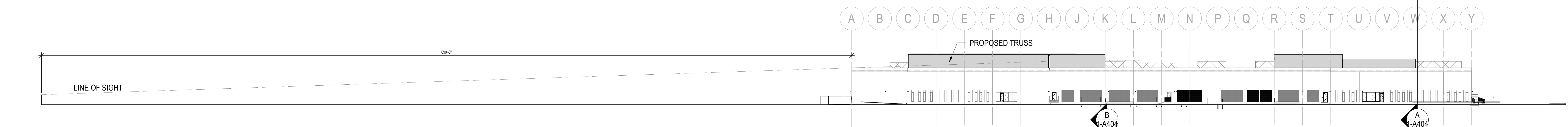
6 SOUTH EXTERIOR ELEVATION - LINE OF SIGHT STUDY  
1" = 40'-0"



8 NORTH EXTERIOR ELEVATION - LINE OF SIGHT STUDY  
1" = 40'-0"



11 EAST EXTERIOR ELEVATION - LINE OF SIGHT STUDY  
1" = 40'-0"



16 WEST EXTERIOR ELEVATION - LINE OF SIGHT STUDY  
1" = 40'-0"

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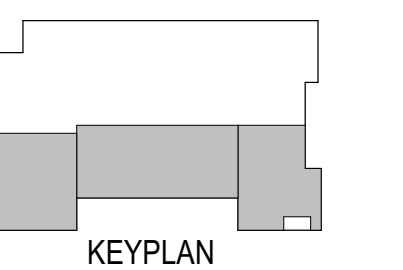
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TENANT  
IMPROVEMENTS  
BUILDING PACKAGE -  
PHASE 2



NO	DESCRIPTION	DATE
1	100% DD SET	08/18/2023
2	ISSUE FOR PLANNING	10/16/2023

ISSUANCE HISTORY - THIS SHEET

HGA NO: 3649-236-01

**3D VIEWS - EXISTING**

ISSUE FOR PLANNING

**1-A440**



3 EXISTING VIEW FROM THE NORTH WEST END OF PROPERTY LINE (AT THE CURB)



2 EXISTING VIEW FROM N MILPITAS BLVD APPROACHING FROM NORTH (AT CURBLINE)



4 EXISTING VIEW FROM THE NORTH WEST END OF PROPERTY LINE (AT THE CURB)



1 EXISTING VIEW FROM N MILPITAS BLVD APPROACHING FROM NORTH (AT CURBLINE)

