

MEMORANDUM

Planning Department



Date: June 20, 2024
To: Zoning Administrator
From: Randy Baez, Associate Planner

Subject: **VETERINARY CLINIC ADDITION – 1405 N. Milpitas Blvd. - P-SD24-0001** – A Site Development Permit to develop a 1,576 square-foot addition to the front of an existing, 2,380 square-foot one-story commercial building on a 0.4-acre lot in the HS (Highway Services) Zoning District located at 1405 N. Milpitas Boulevard. The Project scope also includes site improvements comprised of landscaping, parking spaces, and a new trash enclosure. The Project is categorically exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Existing Facilities), Section 15303 (New Construction or Conversion of Small Structures) and, as a separate and independent basis, Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning).

Location: 1405 N. Milpitas Blvd. (APNs: 022-02-010)

Zoning/GP: Highway Services (HS) / General Commercial (GNC)

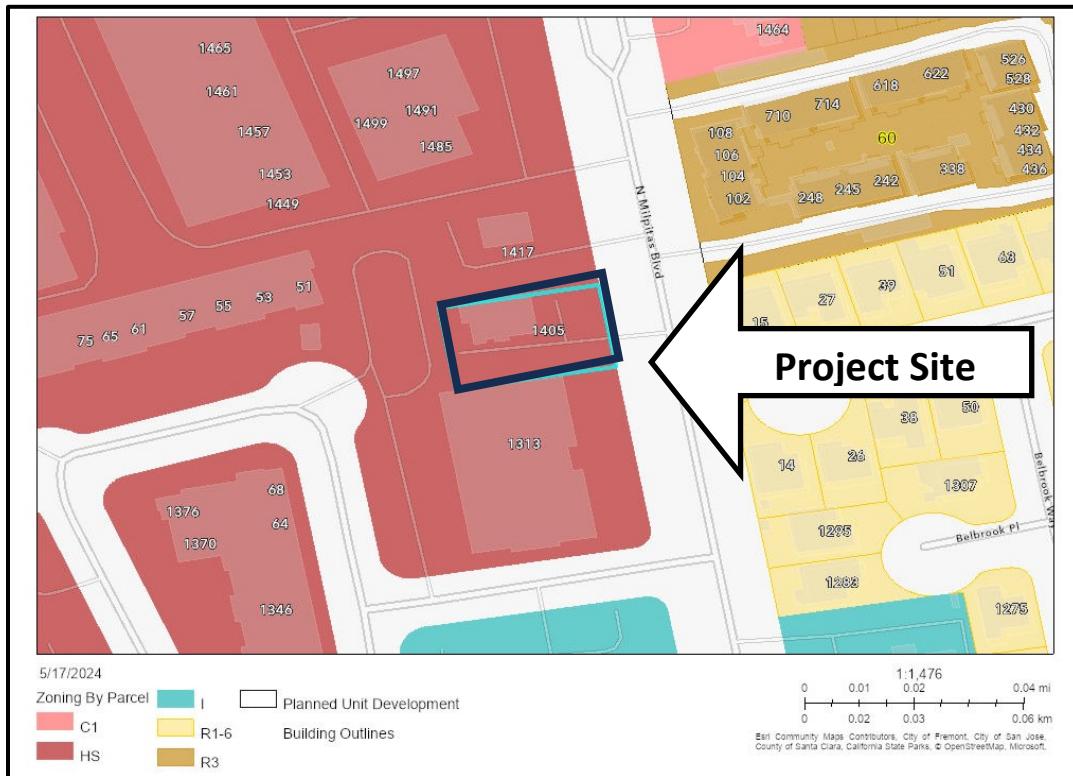
EXECUTIVE SUMMARY

On January 31, 2024, Hyder Khan (Applicant) submitted a Site Development (SD) Permit application to develop a 1,576 square-foot addition to an existing, 2,380 square-foot commercial building, on a 0.4-acre lot located at 1405 N. Milpitas Boulevard (the “Project”).

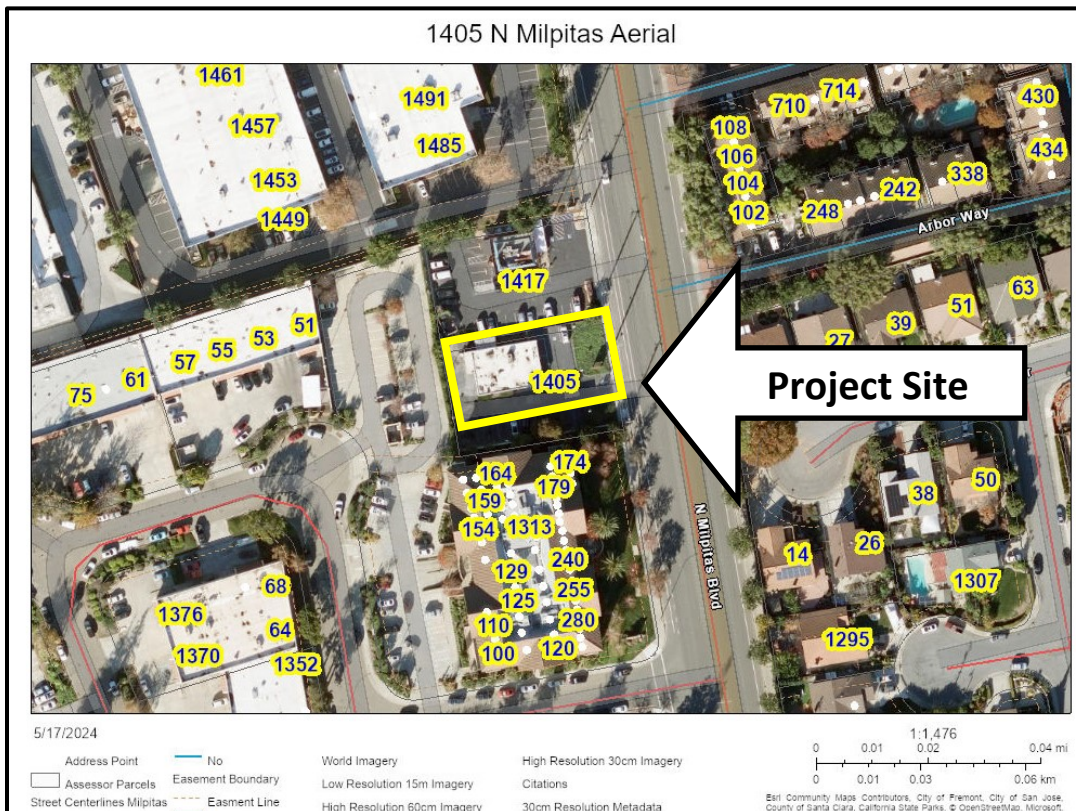
Site Development Permits are required for all additions of 5,000 square feet or greater or 10 percent of the existing building gross floor area, whichever is less, to non-residential buildings adjacent to residential districts or uses per Milpitas Municipal Code (“MMC”) Section XI-10-57.03 (C)(1)(e)(ii). Maps 1 and 2 demonstrate the Project site’s location and zoning in the City. As indicated in these maps, this building is immediately adjacent to residential districts and uses on the other side of Milpitas Boulevard.



Map 1 – Zoning Map of 1405 N. Milpitas Blvd.



Map 2 – Aerial View of 470-500 Wool Dr.



BACKGROUND

History

The existing veterinary clinic has been in operation at the Project site since at least 1996. No significant improvements have been made since then, with the exception of minor repairs such as roof or plumbing modifications.

Existing

The Project site is currently developed with a 2,380 square-foot veterinary clinic, 13 parking spaces, and front yard landscaping. The existing building's floor plan includes exam rooms, offices, and storage areas. Access to the Project site is provided by an existing driveway along N. Milpitas Boulevard.

The Application

The following is a summary of the Applicant's request:

- Site Development Permit: To allow for the development of a 1,576 square-foot addition to an existing, 2,380 square-foot one-story commercial building on a 0.4-acre lot in the HS (Highway Services) Zoning District located at 1405 N. Milpitas Blvd. The application also includes landscaping and associated site improvements.

Process

The application must be considered for approval at a duly noticed public hearing by the Zoning Administrator and must satisfy the substantive and procedural requirements of a Site Development Permit, required for all additions to nonresidential buildings of 5,000 square feet or greater or 10% of the existing building gross floor area, whichever is less, per Milpitas Municipal Code ("MMC") Section XI-10-57.03 (C)(1)(e)(ii).

PROJECT DESCRIPTION

Overview

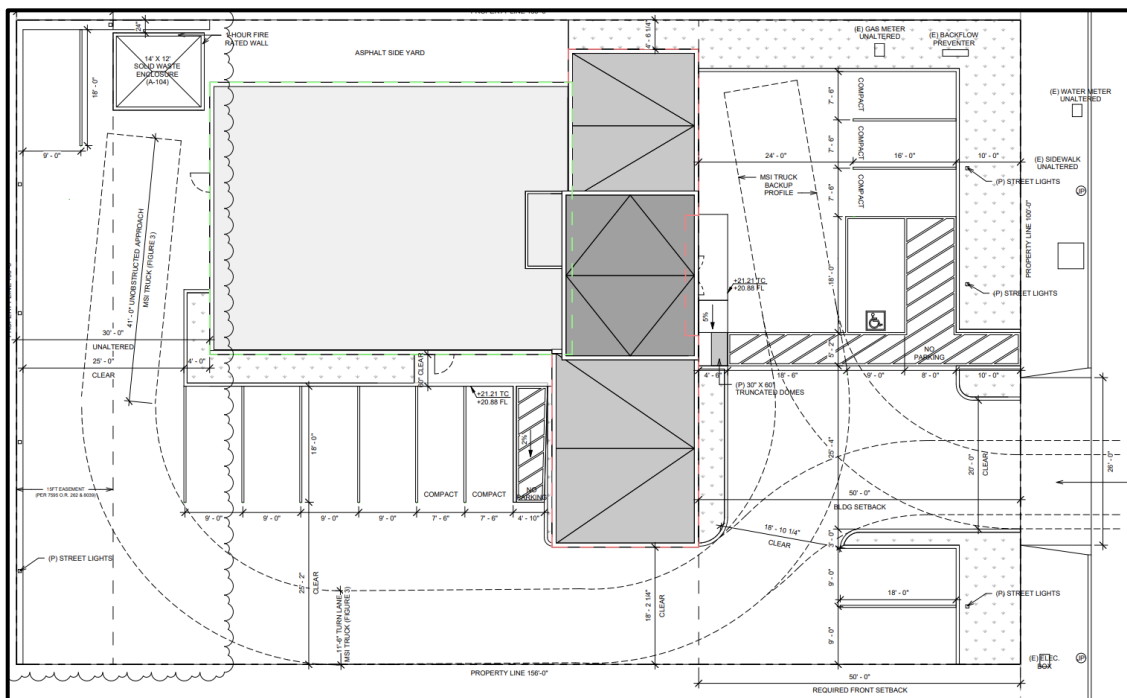
The applicant is requesting a Site Development Permit to develop a 1,576 square-foot addition to an existing commercial building. The addition will be located towards the front of the property and will feature a contemporary architectural design. The addition will include four new exam rooms, a treatment room, a surgical room, and a new lobby for customers. The one-story addition will anchor the façade of the building towards the street frontage and will have a maximum height of approximately 17 feet, which is below the 35-foot maximum height limit as demonstrated in Table 3 below.

A new trash enclosure is the only accessory structure proposed as part of the Site Development Permit scope/request. The proposed enclosure will be located at the rear of the building, near the northwest corner of the property. Additionally, new landscaping is proposed near the front of the Project site, with renovated landscaping throughout existing landscaped planters.

New plants include evergreen pittosporums, sugar bushes, and manzanita carmel sure groundcover. The Project will require the removal of three existing trees to allow for the new addition; however, all three trees are under 37-inches in circumference and do not meet the threshold for a separate tree removal permit under the City’s tree removal ordinance¹.

The existing site is developed with a 2,380 square-foot commercial building with 13 parking spaces and associated landscaping and site improvements. The new 1,576 square-foot addition will result in a 3,956 square-foot building, which requires 13 parking spaces per MMC Sec. XI-10-53 (Off-Street Parking Regulations). The Project meets this requirement by providing 5 compact spaces, 7 full-size parking spaces, and one disabled accessible parking space. The site will maintain its existing driveway approach along N. Milpitas Boulevard. The Applicant has been conditionally approved by the City’s Engineering Department to obtain all necessary encroachment permits prior to altering the driveway approach, if necessary. *Figure 1: Site Plan* shows a generalized overview of the proposed addition.

Figure 1: Site Plan



¹ Per the City’s Tree Removal Ordinance, on developed commercial or industrial property, a protected tree is designated as one that has a thirty-seven-inch (37"), or greater, circumference of its trunk measured 4 1/2 feet from the ground. (MMC § X-2-7.01-1(b).)

Location and Context

The Project site is in the upper middle portion of the City on N. Milpitas Boulevard. The site is substantially surrounded by similar commercial uses such as offices to the south and a restaurant to the north. The subject properties and surrounding properties to the north, west, and south are similarly zoned as Highway Services (HS). The properties immediately to the east across from N. Milpitas Boulevard are zoned Single-Family Residential (R1-6) and are developed with single-family homes. Table 2 demonstrates the surrounding zoning and land uses.

Table 1: Surrounding Zoning and Land Uses

	General Plan	Zoning	Existing Uses
Subject Site(s)	General Commercial (GNC)	Highway Services (HS)	Veterinary Clinic
North	General Commercial (GNC)	Highway Services (HS)	Restaurant
South	General Commercial (GNC)	Highway Services (HS)	Multi-Tenant Office
West	General Commercial (GNC)	Highway Services (HS)	Multi-Tenant Office
East	Low Density Residential (LDR)	Single Family Residential (R1-6)	Single-Family Residential

Architectural Design

The proposed addition incorporates a mixture of high-quality stucco, earth tone materials, and vertical wood panel accents. The stucco will have a smooth texture and will be painted “Cool Grey”.

A new trash enclosure is proposed to the rear/ northwest corner of the property, as the Project site does not currently have a trash enclosure. The trash enclosure will accommodate two, 2-yard bins for recycling and garbage. The trash enclosure will be constructed of concrete rectangular block walls with a stucco finish that will be painted off-white to match and complement the proposed addition.

The front façade will feature floor-to-ceiling windows at the pronounced entryway, surrounded by high-quality wood siding on each side. Tall narrow windows are also proposed along the façade to accomplish a contemporary design. The existing building has rooftop air conditioning units that are currently visible from the street, but this Project will include new rooftop screening and a new parapet to screen the existing equipment. The parapet will feature a stucco finish while the remaining rooftop screening features a wood siding that is similar and complements the front façade.

Figure 2 shows a rendering of the proposed front elevation. Figure 3 shows the materials board for the proposed exterior materials.

Figure 2: Front Elevation Rendering



Figure 3: Materials Board

1405 N. Milpitas Blvd.
MATERIAL BOARD

<p>WOOD SIDING NewTechWood - Peruvian Teak Raw - Horizontal Panel Siding</p>	<p>STUCCO #1 Omega - Integral color, smooth texture - 1C105 COOL GREY - Base 2</p>	<p>WINDOW AND DOOR FRAMES Brand TBD - Midnight Bronze (black) - Low-E glazing</p>

PROJECT ANALYSIS

Zoning Conformance

The Project site is in the HS Highway Services Zoning District. The purpose and intent of the HS zone is to provide for the wide range of personal and business services primarily oriented to the automobile customer and transient residential uses. It is intended to include those commercial uses that are typically located outside of the Central Business District area and tend to require lots with well-maintained grounds.

The Project site is currently developed with an existing veterinary clinic. The Project scope is primarily comprised of the development of an addition to provide greater services to its customers. The Project applicant worked with staff to ensure conformance with the development standards of Milpitas Municipal Code Section XI-10-5.03. Table 2 demonstrates the Project’s consistency with the development standards of the HS zone.

Table 2: HS Zoning District Development Standards

Standards	Required	Proposed	Complies
Lot Area, Min.	Fronting Major Street: 1.5 acres	0.4 acres (No Change from Existing)	Yes, Legal Non-Conforming
Lot Width, Min.	Fronting Major Street: 250 feet	100 feet (No Change from Existing)	Yes, Legal Non-Conforming
Front Yard Setback, Min.	Major Street: 50 feet	50 feet	Yes
Side Yard Setback, Min.	0 ft.	4’ 6” (north) 18’ 2” (south)	Yes
Rear Yard Setback, Min.	0 ft.	30 feet	Yes
Parking, Min.	Net Floor Area: Gross Floor Area (3,956 s.f.) less 20% = 3,164.8 s.f./250 = 13 Spaces	13 Spaces	Yes
Compact Parking	For parking areas and garages containing 10 or more stalls serving the following uses in Subsection 53.07(B)(1), up to 40% of the required and non-required stalls may be designed as compact stalls.	38% of stalls (5 out of 13 spaces)	Yes
Building Height, Max.	35 feet or 3 stories	17’ - 3”	Yes
Lot Coverage	None	26%	Yes
Floor Area Ratio	0.50	0.26	Yes

Landscaping	25% of front yard setback (50' x 100' x 0.25 = 1,250 SF)	1,255 SF	Yes
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Findings for Approval:

Findings shall identify the rationale behind the decision to take a certain action. Each required finding within the Milpitas Municipal Code Section XI-10-57.03 (G) have been analyzed below:

1. The development recognizes and respects the nature of the neighborhood and site, development patterns, materials used, and the expectations of those who will see and use the building;

The Project includes the addition to an existing commercial office building within the HS (Highway Services) Zoning District. The proposed architectural designs integrate well with the surrounding area in terms of color and building materials such as earth-tone stucco and vertical wood siding accents. The proposed addition will respect the existing development in the area by maintaining ample setbacks as well as limiting the addition to a single-story to soften and reduce the visual prominence, scale, and bulk of the Project. The flat roof design mimics those of other commercial buildings in the immediate area, and the size and scale of the proposed Project are consistent with other buildings along N. Milpitas Boulevard.

2. The development assures that modifications satisfy functional requirements, and are screened with appropriate compatible materials; and

The proposed addition satisfies functional requirements as the floor plan was designed to maximize space and functionality without being impactful to the surrounding area. The proposed addition is consistent with the development standards required for the zoning district as demonstrated in Table 1 and will feature contemporary design and materials. Additionally, the addition and trash enclosure will be constructed in compliance with the most recent California Building Code, California Fire Code, and other required applicable development codes to improve functional aspects including but not limited to seismic safety, electrical, and energy efficiency considerations such as Title 24 compliance, and enhanced noise insulation.

3. The development assures that the modifications will not interfere with the privacy, quiet enjoyment, or view of the surrounding properties.

The proposed single-story addition features floor-to-ceiling windows at the entryway, with vertical wood siding on the other sides of the street frontage. The Project site currently has perimeter fences along the side and rear property lines compliant with MMC Section XI-10-54.10 (Fences and Walls), providing privacy with neighboring properties. The lots immediately to the north and west of the subject lot are single-story, while the lot to the south is a two-story multi-tenant office building. The residential development immediately across N. Milpitas Boulevard primarily consists of one-story single-family homes.

Although the addition is proposed at the front of the existing building, the Project will be setback 50 feet from the front property line, providing separation and reducing the bulk of the structure from public view. The proposed addition will have a 4-foot setback along the northern side setback, while that adjacent building is located approximately 55 feet from the shared property line. The proposed addition will also be setback at least 18 feet from the southern side property line. Therefore, potential privacy concerns will be minimized as there are significant setbacks between existing and proposed structures.

Additionally, the property and neighboring lots are on the valley floor and do not have significant or protected views. The proposed Project complies with the setback and height requirements for the HS Zoning District, thereby maintaining solar access and privacy for the subject site and neighboring properties. Furthermore, the existing veterinarian clinic use is permitted by right in the HS zoning district and does not propose a change in land use that could interfere with the quiet enjoyment of the surrounding area.

California Environmental Quality Act (CEQA):

The Project is categorically exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Existing Facilities), Section 15303 (New Construction or Conversion of Small Structures) and, as a separate and independent basis, Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning).

Recommendation:

Staff recommends that the Zoning Administrator approve P-SD24-0001 to develop a 1,576 square-foot addition to an existing, 2,380 square-foot one-story commercial building on a 0.4-acre lot in the HS (Highway Services) Zoning District located at 1405 N. Milpitas Boulevard, subject to the findings outlined in this report and the attached Conditions of Approval.

Attachments:

- A. Resolution 24-020
- B. Project Plans

ATTACHMENT A

RESOLUTION NO. 24-020

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF MILPITAS, CALIFORNIA, APPROVING SITE DEVELOPMENT PERMIT NO. SD24-0001 TO ALLOW THE DEVELOPMENT OF A 1,576-SQUARE-FOOT ADDITION TO THE FRONT OF AN EXISTING, 2,380-SQUARE-FOOT ONE-STORY COMMERCIAL BUILDING ON A 0.4-ACRE PARCEL AT 1405 N. MILPITAS BOULEVARD. (APN 022-02-010)

WHEREAS, on January 31, 2024, Hyder Khan (“Applicant”) submitted a Site Development Permit (“SDP”) application to request a 1,576 square-foot addition to an existing, 2,380 square-foot commercial building on a 0.4-acre lot located at 1405 N. Milpitas Boulevard (APN 022-02-010); and

WHEREAS, the property (APN 022-02-010) is located within the Highway Services (HS) Zoning District; and

WHEREAS, the Planning Division completed an environmental assessment for the Project in accordance with the California Environmental Quality Act (CEQA), and recommends that the Zoning Administrator determine this Project is categorically exempt; and

WHEREAS, on June 20, 2024, the Zoning Administrator held a duly noticed public hearing on the subject application, and considered evidence presented by City staff, the applicant, and other interested parties.

NOW THEREFORE, the Zoning Administrator of the City of Milpitas hereby finds, determines and resolves as follows:

Section 1: The Zoning Administrator has considered the full record before him or her, which may include but is not limited to such things as any staff report, source records, statements by staff and the public, and any other materials and evidence submitted or provided to him or her. The recitals set forth above are true and correct and incorporated herein by reference.

Section 2: The Project is categorically exempt from further environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Existing Facilities) and; as a separate and independent basis, CEQA Guidelines Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning). As proposed, the Project includes the development of an addition to an existing commercial building in a commercial zone, consistent with the general plan and zoning standards, located within city limits on a site with no value to habitat for endangered species, and adequately served by all utilities.

Section 3: The Milpitas Municipal Code (MMC) requires approval of a Site Development Permit (SDP) for all additions to nonresidential buildings of 5,000 square

feet or greater or 10% of the existing building gross floor area, whichever is less (MMC Section XI-10-57.03 (C)(1)(e)). In order to approve an SDP, the Zoning Administrator must make the following findings, per MMC Section XI-10-57.03(G):

- a) *The development recognizes and respects the nature of the neighborhood and site, development patterns, materials used, and the expectations of those who will see and use the building;*

The Project includes the addition to an existing commercial office building within the HS (Highway Services) Zoning District. The proposed architectural designs integrate well with the surrounding area in terms of color and building materials such as earth-tone stucco and vertical wood siding accents. The proposed addition will respect the existing development in the area by maintaining ample setbacks as well as limiting the addition to a single-story to soften and reduce the visual prominence, scale, and bulk of the Project. The flat roof design mimics those of other commercial buildings in the immediate area, and the size and scale of the proposed Project are consistent with other buildings along N. Milpitas Boulevard.

- b) *The development assures that modifications satisfy functional requirements, and are screened with appropriate compatible materials; and*

The proposed addition satisfies functional requirements as the floor plan was designed to maximize space and functionality without being impactful to the surrounding area. The proposed addition is consistent with the development standards required for the zoning district as demonstrated in Table 1 and will feature contemporary design and materials. Additionally, the addition and trash enclosure will be constructed in compliance with the most recent California Building Code, California Fire Code, and other required applicable development codes to improve functional aspects including but not limited to seismic safety, electrical, and energy efficiency considerations such as Title 24 compliance, and enhanced noise insulation.

Table 1: HS Zoning District Development Standards

Standards	Required	Proposed	Complies
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Rear Yard Setback, Min.	0 ft.	30 feet	Yes
Parking, Min.	Net Floor Area: Gross Floor Area (3,956 s.f.) less 20% = 3,164.8 s.f./250 = 13 Spaces	13 Spaces	Yes
Compact Parking	For parking areas and garages containing 10 or more stalls serving the following uses in Subsection 53.07(B)(1), up to 40% of the required and non-required stalls may be designed as compact stalls to accommodate compact cars.	38% of stalls (5 out of 13 spaces)	Yes
Building Height, Max.	35 feet or 3 stories	17' - 3" and 1-story	Yes
Lot Coverage	None	26%	Yes
Floor Area Ratio	0.50	0.26	Yes
Landscaping	25% of front yard setback (50' x 100' x 0.25 = 1,250 SF)	1,255 SF	Yes

- c) *The development assures that the modifications will not interfere with the privacy, quiet enjoyment, or view of the surrounding properties.*

The proposed single-story addition features floor-to-ceiling windows at the entryway, with vertical wood siding on the other sides of the street frontage. The Project site currently has perimeter fences along the side and rear property lines compliant with MMC Section XI-10-54.10 (Fences and Walls) providing privacy with neighboring properties. The lots immediately to the north and west of the subject lot are single-story, while the lot to the south is a two-story multi-tenant office building. The residential development immediately across N. Milpitas Blvd. primarily consists of one-story single-family homes.

Although the addition is proposed at the front of the existing building, the Project will be setback 50 feet from the front property line, providing separation and reducing the bulk of the structure from public view. The proposed addition will have a 4-foot setback along the northern side setback, while that adjacent building is located approximately 55 feet from the shared property line. The proposed addition will also be setback at least 18 feet from the southern side property line. Therefore, potential privacy concerns will be minimized as there are significant setbacks between existing and proposed structures.

Additionally, the property and neighboring lots are on the valley floor and do not have significant or protected views. The proposed Project complies with the setback and height requirements for the HS Zoning District, thereby maintaining solar access and privacy for the subject site and neighboring properties. Furthermore, the existing veterinarian clinic use is permitted by right in the HS zoning district and does not propose a change in land use that could interfere with the quiet enjoyment of the surrounding area.

Section 4: The Zoning Administrator of the City of Milpitas hereby adopts Resolution No. 24-020 approving Site Development Permit No. SD24-0001 to allow the development of a 1,576 square-foot addition to an existing 2,380 square-foot commercial building at 1405 N. Milpitas Boulevard, subject to the Conditions of Approval attached hereto as Exhibit 1.

PASSED AND ADOPTED at a regular meeting of the Zoning Administrator of the City of Milpitas on June 20, 2024.

Jay Lee, AICP
Planning Director

Date: _____

EXHIBIT 1

**SITE DEVELOPMENT PERMIT NO. P-SD24-0001
1405 N MILPITAS BOULEVARD (APN 022-02-010)**

The City of Milpitas Zoning Administrator approves Site Development Permit No. SD24-0001 in accordance with Section XI-10-57.03 of the Milpitas Municipal Code, subject to and conditioned upon all applicable State and local laws and regulations and the Conditions of Approval outlined below. This Site Development Permit entitlement is to allow the issuance of building permits for the proposed development of a 1,576 square-foot addition to the front of an existing, 2,380 square-foot one-story commercial building on a 0.4-acre lot in the HS (Highway Services) Zoning District located at 1405 N. Milpitas Boulevard (APN: 022-02-010), subject to all necessary reviews, approvals, studies, and inspections for the issuance of such building permits.

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS OF APPROVAL:

General Conditions

1. General Compliance. The applicant, including all successors in interest (collectively "Permittee") shall comply with each and every condition set forth in this Permit. This Site Development Permit No. SD24-0001 ("Permit") shall have no force or effect and no building permit shall be issued unless and until all things required by the below-enumerated precedent conditions have been performed or caused to be performed. **(P)**
2. Effective Date. Unless there is a timely appeal filed in accordance with the Milpitas Zoning Code, the date of approval of this Permit is the date on which the decision-making body approved this Permit. **(P)**
3. Acceptance of Permit. Should Permittee fail to file a timely appeal within twelve (12) calendar days of the date of approval of this Permit, inaction by Permittee shall be deemed to constitute each of the following: **(P)**
 - i. Acceptance of this Permit by Permittee; and
 - ii. Agreement by the Permittee to be bound by, comply with, and to do all things required of or by Permittee pursuant to all the terms, obligations, and conditions of this Permit.
4. Permit Expiration. Pursuant to Section XI-10-64-06 of the Milpitas Zoning Code, this Permit shall become null and void if the activity permitted by this Permit is not commenced within two (2) years from the date of approval, or for a project submitted with a tentative map, within the time limits of the approved tentative map. Pursuant to Section XI-10-64.06(B) of the Milpitas Zoning Code, an activity permitted by this Permit shall be deemed to have commenced when the Project: **(P)**
 - i. Completes a foundation associated with the Project; or
 - ii. Dedicates any land or easement as required from the zoning action; or

- iii. Complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.
5. Time Extension. Pursuant to Section XI-10-64.07 of the Milpitas Zoning Code, unless otherwise provided by State law, Permittee shall have the right to request a one-time extension of the Permit if the request is made in writing to the Planning Division prior to the expiration date of the approval. **(P)**
6. Notice. Pursuant to California Government Code Section 66020, any protest filed in court relating to the imposition of fees, dedication, reservations, or other exactions to be imposed on the development Project shall be filed within ninety (90) days after the date of the approval of this Permit. This provision serves as notice from the local agency to the Permittee that the ninety (90) day period in which the applicant may file a protest has begun under California Government Code Section 66020(d)(1). **(CA)**
7. Cost and Approval. Permittee shall fully complete and satisfy each and every condition set forth in this Permit and any other condition applicable to the Project to the sole satisfaction of the City. Additionally, Permittee shall be solely responsible and liable for the cost to satisfy each and every condition. Permittee shall pay all required fees and charges to the City at the rate in effect at time of building permit issuance, or, the rate in effect when the fees and charges are due and paid in full to the City. There is no vesting of any fees or charges with the approval of this Permit. **(P)**
8. Conditions. Each and every condition set forth in this Permit shall apply to the Project and continue to apply to the Project so long as the Permittee is operating the Project under the permits and approvals in this Permit. **(P)**
9. Compliance with Laws. The construction, use, and all related activity authorized under this Permit shall comply with all applicable local, state, and federal laws, rules, regulations, guidelines, requirements, and policies. **(CA/P)**
10. Previous Approvals. Permittee shall abide and continue to comply with all previous City approvals, permits, or requirements relating to the subject property, unless explicitly superseded or revised by this Permit. **(P)**
11. Indemnification. To the fullest extent permitted by law, Permittee shall indemnify, defend with counsel of the City's choosing, and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to (i) City's approval of the Project, including but not limited to, the approval of the discretionary permits, maps under the Subdivision Map Act, and/or the City's related determinations or actions under the California Environmental Quality Act, and (ii) Permittee's construction, operation, use, or related activity under this Permit. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with

such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. Permittee shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. Permittee shall pay to the City upon demand or, as applicable, to counsel of City's choosing, any amount owed pursuant to the indemnification requirements prescribed in this condition. **(CA)**

12. Written Response to Conditions. The Permittee shall provide a written response to the Conditions of Approval indicating how each condition has been addressed with the building permit application submittal. **(ALL)**
13. Revocation, Suspension, Modification. This Permit may be suspended, revoked, or modified in accordance with Section XI-10-63.06 of the Milpitas Zoning Code. **(P)**
14. Severability. If any term, provision, or condition of this Permit is held to be illegal or unenforceable by the Court, such term, provision, or condition shall be severed and shall be inoperative, and the remainder of this Permit shall remain operative, binding, and fully enforceable. **(CA)**
15. Permittee shall develop the approved Project in conformance with the approved plans (date stamped 5/6/24), approved by the Zoning Administrator on the date of the public hearing for the Project on June 20, 2024 in accordance with these Conditions of Approval. **(P)**

Any deviation from the approved site plan, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the Permittee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Zoning Administrator or City Council, as applicable, in accordance with the Milpitas Zoning Code. **(P)**

FIRE DEPARTMENT CONDITIONS

The plans approved by the Planning Department process are not building plans and have not been reviewed nor approved for conformance to the California Building Code (CBC), California Fire Code (CFC) and the Milpitas Municipal Code (MMC). Do not consider this set of plans as final building plans approved by the Fire Department. Building plans must be submitted for review and approval before construction is to commence. The following notes are a general list of the applicable code requirements (2022) and are provided to assist with the **building permit process**. Please note that these are not all inclusive. All applicable Building, Fire and Municipal Code requirements must be met in advance of any building permit approvals or related construction as some of the requirements and notes below meets current codes.

BUILDING DEPARTMENT CONDITIONS

21. Compliance with California Code of Regulations. The Project shall comply with the requirements of the Building Safety and Housing Department and the California Code of Regulations Title 24 and the Milpitas Municipal Code as adopted by the City. Building permits shall be submitted to and approved by the Building Safety and Housing Department prior to start of construction. All California Code of Regulations Title 24 and Milpitas Municipal Code requirements applicable at the time of building permit application must be met in advance of any building permit approvals or related construction. Changes to the site plan and/or building plan require review and approval by the Building Safety and Housing Department.

ENGINEERING DEPARTMENT CONDITIONS

PRIOR TO CONSTRUCTION PLAN SUBMITTALS

*The following conditions shall be met **prior to** any detailed construction plan check submittals (Building or Engineering, except demolition and rough grade plans), unless otherwise approved by the Director of Engineering/City Engineer. City reserves the right to reject any plan check submittal if any of the following conditions are not met. (E)*

22. Applicant shall depict all existing easements to remain based upon current preliminary title report. All easements within the property shall be kept free and clear of buildings and structures.
23. Solid Waste and Recycling Facility Design: Permittee shall comply with all applicable City design guidelines/details associated with haul route, turning radius, vertical and horizontal clearance, trash enclosure, etc.
24. Trash Enclosure: City of Milpitas stormwater permit requires that all new solid waste enclosures shall drain to the sanitary sewer. The enclosure shall have a roof to prevent stormwater runoff from entering.
25. Encroachment Permit: Prior to any work in the public right-of-way and/or public easement, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Engineering Department.

- (P) = Planning
(F) = Fire Prevention
(B) = Building
(LD) = Land Development
(CA) = City Attorney

NOTICE OF RIGHT TO PROTEST

The Conditions of Project Approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), began on date of adoption of this resolution. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

AGREEMENT

Permittee/Property Owner

The undersigned agrees to each and every condition of approval and acknowledges the NOTICE OF RIGHT TO PROTEST and hereby agrees to use the subject property on the terms and conditions set forth in this Permit.

Dated: _____

Signature of Permittee



ANIMAL MEDICAL CLINIC

1405 N. MILPITAS AVE.
MILPITAS, CA.

CODE COMPLIANCE

APPLICABLE CODES
 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA MECHANICAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA ENERGY CODE

CODE SUMMARY
 OCCUPANCY: B
 OCCUPANT LOAD: 100 GROSS
 TYPE OF CONSTRUCTION: V-B
 FIRE SUPPRESSION: NON-SPRINKLED
 OCCUPANCY SEPARATION: 1-HOUR
 ZONING DISTRICT: HIGHWAY SERVICES (HS)

ABBREVIATIONS

A.B. ANCHOR BOLT	H.B. HOSE BIBB
ABV. ABOVE	H.C. HOLLOW CORE
A.F.F. ABOVE FINISH FLOOR	H.D. HOLD DOWN
A/C AIR CONDITIONING	HDR. HEADER
ADJ. ADJUSTABLE	HDWD. HARDWOOD
ALUM ALUMINUM	HORIZ. HORIZONTAL
BEL. BELOW	H.P. HIGH POINT
BLDG. BUILDING	HT. HEIGHT
BL'K'G. BLOCKING	I.D. INSIDE DIAMETER
BM. BEAM	INSUL. INSULATION
BOT. BOTTOM	INT. INTERIOR
BD. BOARD	INV. INVERT
BSMT. BASEMENT	JT. JOINT
CAB. CABINET	LAM. LAMINATE
CALC. CALCULATIONS	LAV. LAVATORY
CEM. CEMENT	LGTH. LENGTH
CER. CERAMIC	L.P. LOW POINT
C.I. CAST IRON	LT. WT. LIGHT WEIGHT
C.J. CONTROL JOINT	MACH. MACHINE
CLG. CEILING	MATL. MATERIAL
CLR. CLEAR	MAX. MAXIMUM
CMU. CONCRETE MASONRY UNIT	MECH. MECHANICAL
COL. COLUMN	MEMB. MEMBRANE
CONC. CONCRETE	MFR. MANUFACTURER
CONST. CONSTRUCTION	MIN. MINIMUM
CONT. CONTINUOUS	MISC. MISCELLANEOUS
CONTR. CONTRACTOR	MULL. MULLION
CORR. CORRIDOR	(N) NEW
CPT. CARPET	N.I.C. NOT IN CONTRACT
CTS.K. COUNTERSUNK	N.T.S. NOT TO SCALE
DAT. DATUM	O.C. ON CENTER
DBL. DOUBLE	O.D. OUTSIDE DIAMETER
DET. DETAIL	O.F. OUTSIDE FACE
DEPT. DEPARTMENT	OBS. OBSCURE
DIA. DIAMETER	PL. PROPERTY LINE
DIAG. DIAGONAL	PLAM. PLASTIC LAMINATE
DIM. DIMENSION(S)	PLAS. PLASTER
DN. DOWN	PLYWD. PLYWOOD
DR. DOOR	PROP. PROPERTY
D.S. DOWNSPOUT	P.T. PRESSURE TREATED
DWG. DRAWING	PTD. PAINTED
(E) EXISTING	RA. RETURN AIR
EA. EACH	R.D. ROOF DRAIN
E.J. EXPANSION JOINT	REF. REFERENCE
EL. ELEVATION	RET. RETAINING
ELEC. ELECTRICAL	REQD. REQUIRED
ELEV. ELEVATOR	ROUGH OPENING
EQ. EQUAL	SEE ARCH. DRAWINGS
EQUIP. EQUIPMENT	S & P SHELF AND POLE
EXIST. EXISTING	S.M.D. SEE MECH. DRAWINGS
EXPAN. EXPANSION	S.O.G. SLAB ON GRADE
EXT. EXTERIOR	SPEC. SPECIFICATION
F.A. FIRE ALARM	STOR. STORAGE
F.B. FLAT BAR	STRUCT. STRUCTURAL
F.D. FLOOR DRAIN	T&G TONGUE AND GROOVE
FDN. FOUNDATION	TEMP. TEMPERATURE
F.G. FIXED GLASS	T.O. TOP OF
FIN. FINISH	T.O.C. TOP OF CONCRETE
FIXT. FIXTURE	T.O.M. TOP OF MASONRY
FLASH. FLASHING	T.O.P. TOP OF PLATE
FLR. FLOOR	T.O.S. TOP OF SHEATING
F.O.B. FACE OF BLOCK	T.O.W. TOP OF WALL
F.O.C. FACE OF CONCRETE	TYP. TYPICAL
F.O.F. FACE OF FINISH	U.L. UNDERWRITER'S LABORATORY
F.O.S. FACE OF STUD	U.N.O. UNLESS NOTED OTHERWISE
FTG. FOOTING	VERT. VERTICAL
FURR. FURRING	V.I.F. VERIFY IN FIELD
GA. GAUGE	W. WITH
GALV. GALVANIZED	W.C. WATER CLOSET
G.B. GRADE BEAM	WD. WOOD
G.C. GENERAL CONTRACTOR	W.H. WATER HEATER
GL. GLASS	W/O. WITHOUT
GLM. BM. GLUE-LAMINATED BEAM	W.P. WATERPROOF
G.I. GRADE	
GRD. GRADE	
GWB. GYPSUM WALL BOARD	

PROJECT DESCRIPTION

AN ADDITION TO AN EXISTING ANIMAL VETERINARIAN CLINIC + INCREASE OF REQUIRED PARKING SPACES.

PROJECT TEAM

OWNERS CONTACT: DR. DALJIT S. SAINI EMAIL: PHONE: 408 262 7190	ENERGY CONSULTANT CONTACT: TBD EMAIL: PHONE:
DESIGNER CONTACT: MAURITS AV DE GANS EMAIL: maurits@mavarchitects.com PHONE: 650 946 6490	GENERAL CONTRACTOR CONTACT: HYDER KHAN EMAIL: hydersconstruction@gmail.com PHONE: 925 699 6228
SURVEYOR CONTACT: JACK SMITH, PLS EMAIL: jsmith@muirconsulting.com PHONE: 209 845 8630	
CIVIL ENGINEER CONTACT: DAVID JONES EMAIL: djasfo@gmail.com PHONE: 415 986 9294	

PROJECT DATA

Project Statistics	Existing	Required	Proposed	Parking Statistics	Existing	Required	Proposed
Gross Lot Area	15600 SF			Standard Spaces	12		10
Net Lot Area	15600 SF			Compact Spaces	0		5
Total Floor Area	2380 SF	7800 SF	3956 SF	Percent Compact		40%	31%
Additional Floor Area (if adding area)			1576 SF	Covered Spaces	0	0	0
Floor Area Ratio (if nonresidential)		50%	26%	Uncovered Spaces	0	0	0
Open Space Calculation		1250 SF	1256 SF	Guest Spaces	0	0	0
Lot Coverage	2380 SF	N/A	3956 SF	Handicapped Car Spaces	0	0	0
Height	10'-6"	35'-0"	17'-3"	Handicapped Van Spaces	1	1	1
Number of Stories	1	3	1	Motorcycle Spaces	0	0	0
Front Setback	62'-8"	50'-0"	50'-1"	Car Share Spaces	0	0	0
Rear Setback	30'-0"	0'-0"	30'-0"	EV Spaces	0	0	0
Side Yard Setback(s)	9'-8"	0'-0"	4'-6 1/4"	EV Handicapped Spaces	0	0	0
Number of Unit(s) or Tenant Space(s)	-	-	-	Short Term Bicycle Parking	0	0	0
				Long Term Bicycle Parking	0	0	0

APN: 022-02-010
 ADDRESS: 1405 N. MILPITAS BLVD. MILPITAS, CA.
 LOT AREA: 15600 SF

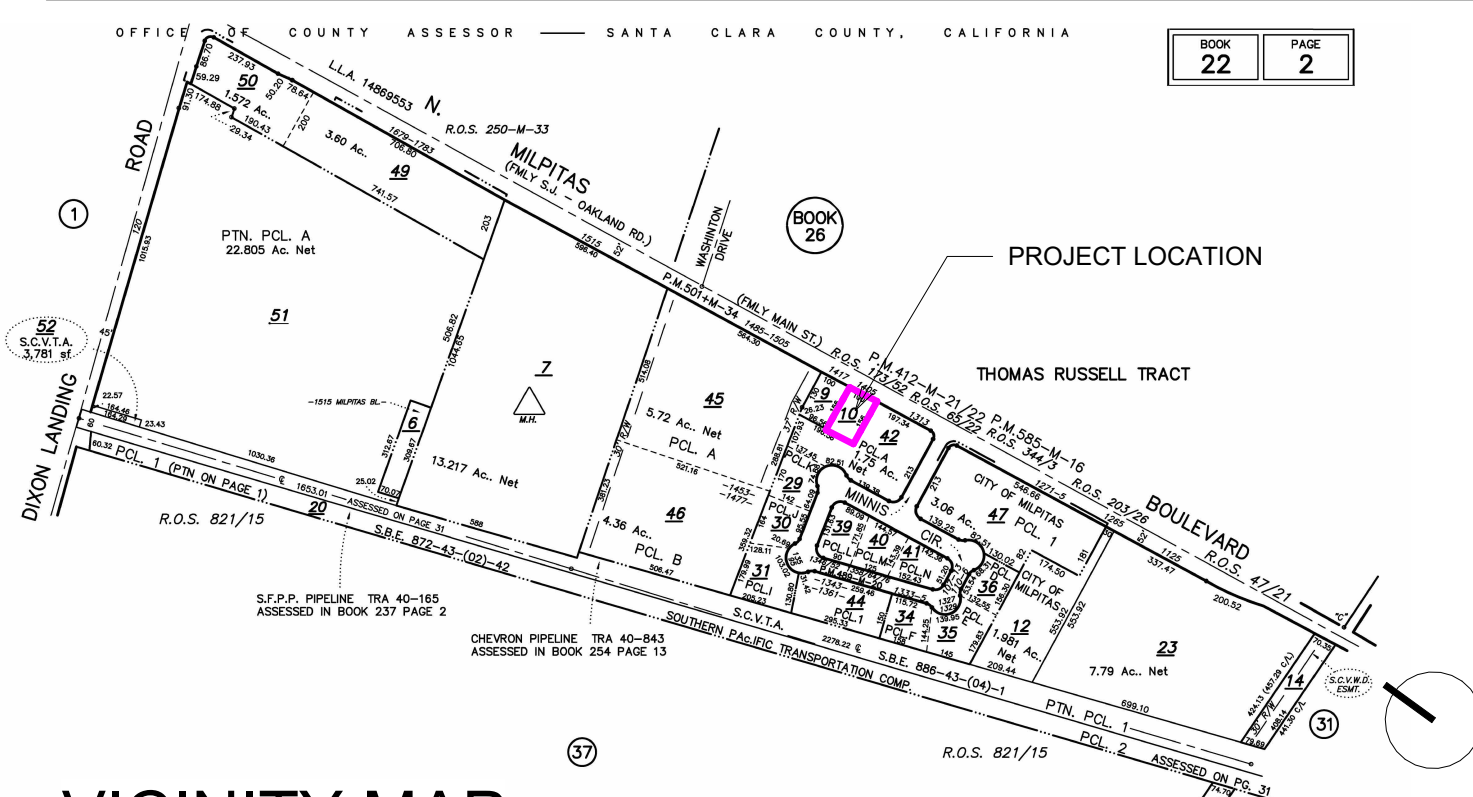
DRAWING INDEX

- GENERAL
 G-000 TITLE SHEET
 G-006 (P) FLOOR AREA DIAGRAMS
 G-007 (P) COVERAGE DIAGRAMS
 G-008 (P) ROOM OCCUPANCY LOAD & EGRESS DIAGRAM
 G-009 (P) LANDSCAPE PLAN
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 G-011 PROVISION C.3 DATA FORM
 G-111 DOOR & WINDOW SCHEDULES, NOTES.
- ARCHITECTURAL
 A-100 (E) SITE PLAN
 A-101 (P) SITE PLAN
 A-102 (E) 1ST FLOOR PLAN
 A-103 (P) 1ST FLOOR PLAN
 A-104 (P) SOLID WASTE ENCLOSURE PLAN & ELEVATIONS
 A-108 (E) ROOF PLAN
 A-109 (P) ROOF PLAN
 A-300 (E) & (P) NORTH ELEVATIONS
 A-301 (E) & (P) EAST ELEVATIONS
 A-302 (E) & (P) SOUTH ELEVATION
 A-303 (E) & (P) WEST ELEVATION
 A-304 (P) A-A & B-B SECTIONS
 A-305 PROPOSED RENDERING

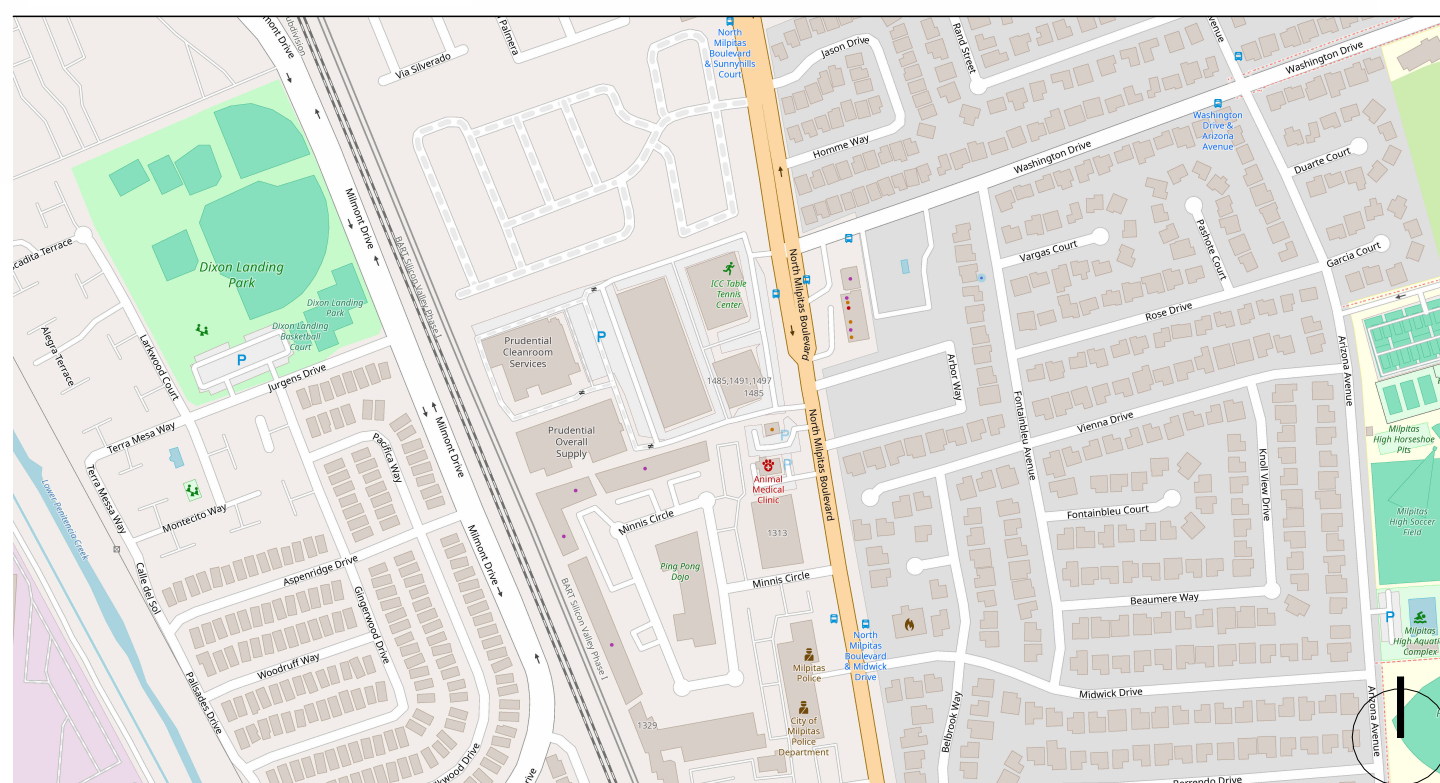
CIVIL
 1 OF 1 - TOPOGRAPHIC SURVEY PLAN

OFFICIAL USE ONLY

PARCEL MAP



VICINITY MAP



MAVA

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ANIMAL MEDICAL CLINIC
1405 N. MILPITAS AVE. MILPITAS, CA.

Revisions

Description	Date
PL. SUB01-REV01	03/15/2024
PL. SUB01-REV03	05/06/2024

Notes

- All dimensions are shown to F.O. stud unless otherwise noted.
- All specifications are listed in Outline specification document.

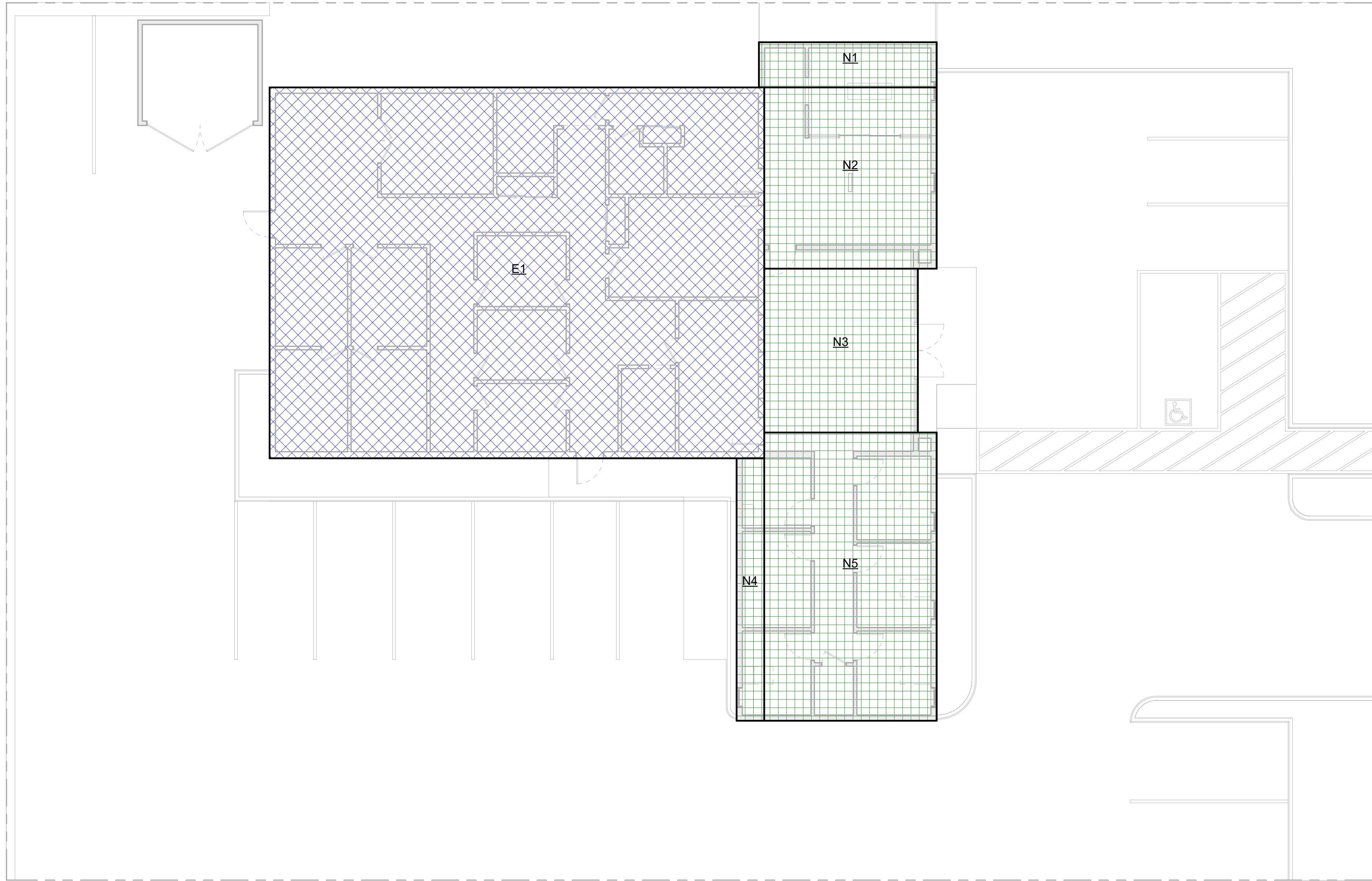
PLANNING PERMIT

Phase

Scale 1/2" = 1'-0"

TITLE SHEET

G-000



MFA LEGEND
 EXISTING BUILDING
 PROPOSED AREA

(P) FLOOR AREA			
NO.	WIDTH	LENGTH	AREA
EXISTING BUILDING			
E1	56' - 4"	42' - 3"	2380 SF
PROPOSED AREA			
N1	20' - 3"	5' - 2"	104 SF
N2	20' - 8"	19' - 8"	406 SF
N3	18' - 8"	17' - 6"	327 SF
N4	29' - 11"	3' - 2"	94 SF
N5	32' - 10"	19' - 8"	645 SF
TOTAL FLOOR AREA			1576 SF
ALLOWABLE FLOOR AREA			3956 SF
			7800 SF

MAVA

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 650 946 6490



372 Turquoise St Ste. 140
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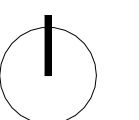
hydersonstruction.com
 hydersonstruction@gmail.com
 925 241 5743

ANIMAL MEDICAL CLINIC
 1405 N. MILPITAS AVE. MILPITAS, CA.

Description	Date
PL- SUB01-REV01	03/15/2024

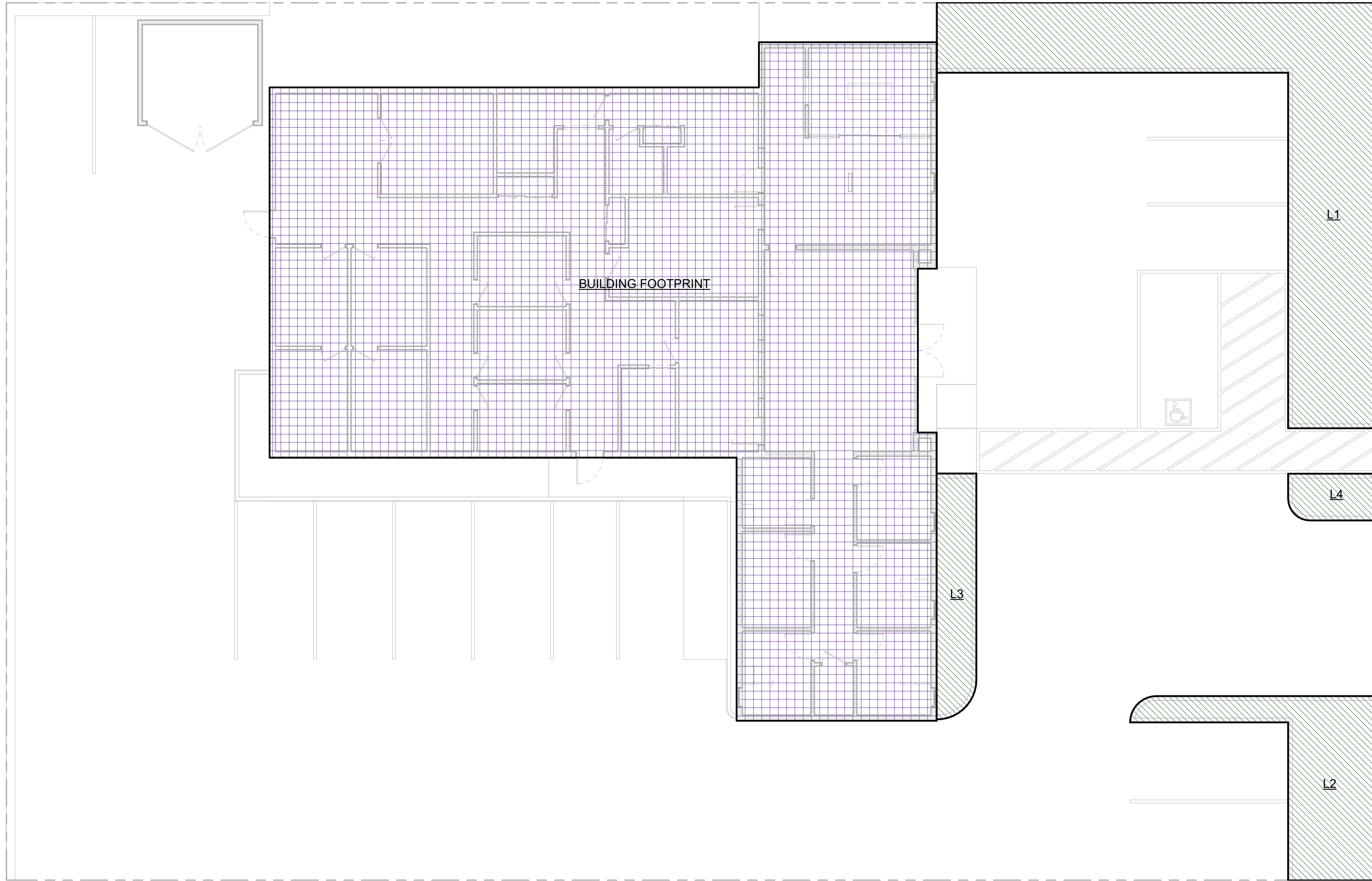
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PLANNING PERMIT



North
 (P) FLOOR AREA
 DIAGRAMS

G-006



MDA LEGEND
 [Grid Pattern] BUILDING
 [Diagonal Lines] FRONT YARD LANDSCAPE

(P) MAXIMUM DEVELOPMENT AREA	
NO.	COUNTED AREA
BUILDING	
BUILDING FOOTPRINT	3952 SF
COVERAGE TOTAL	3952 SF
ALLOWABLE FLOOR AREA	7800 SF

(P) FRONT YARD LANDSCAPE	
NO.	COUNTED AREA
FRONT YARD LANDSCAPE	
L1	805 SF
L2	262 SF
L3	128 SF
L4	60 SF
TOTAL	1255 SF
MIN. REQUIRED	1250 SF (5000 * 25%)

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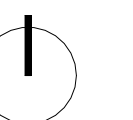
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 hydersconstruction@gmail.com
 925 241 5743

ANIMAL MEDICAL CLINIC
 1405 N. MILPITAS AVE. MILPITAS, CA.

Description	Date
PL. SUB01-REV01	03/15/2024

- Notes
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PLANNING PERMIT



North
 (P) COVERAGE
 DIAGRAMS

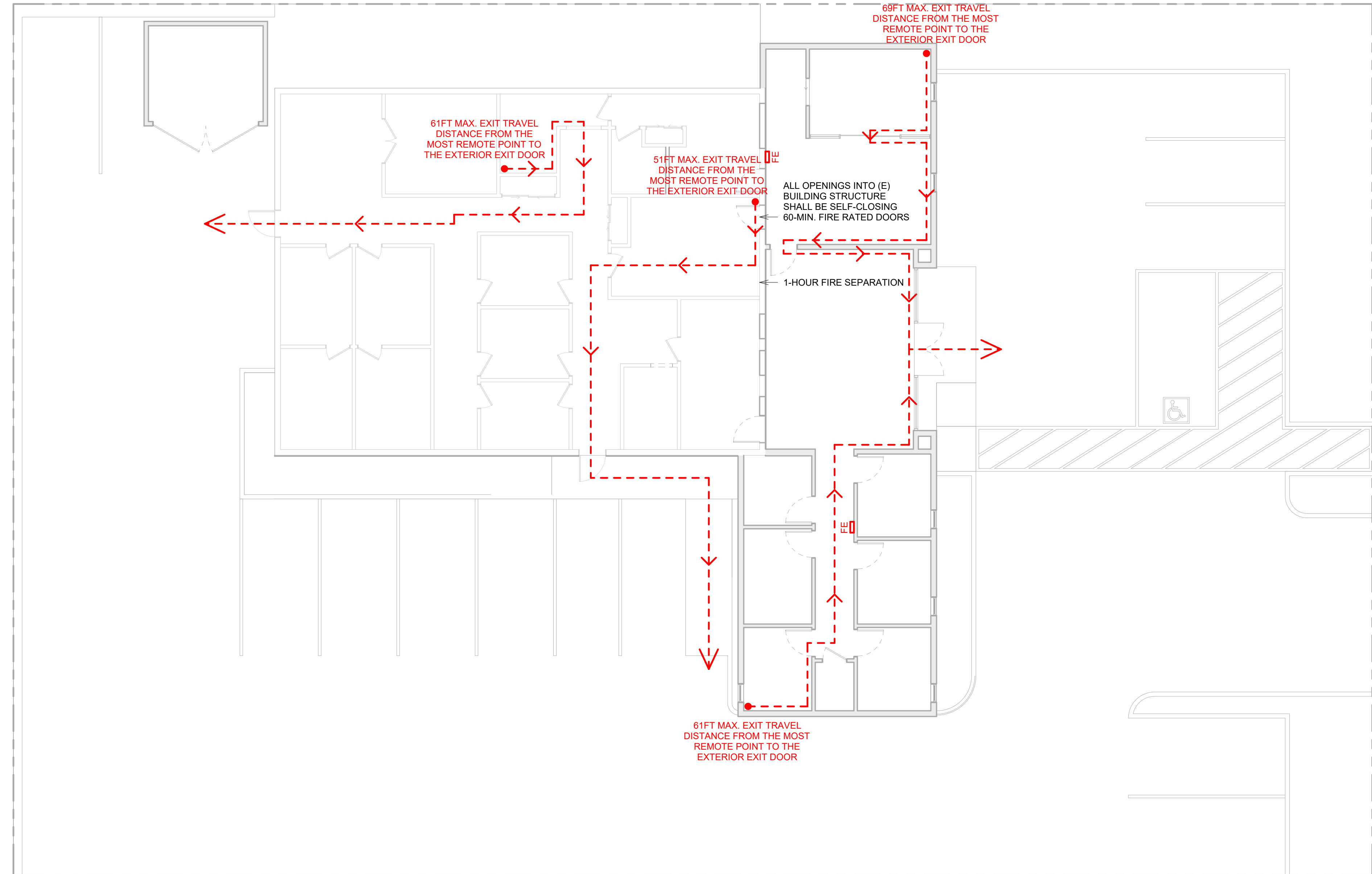
G-007

Description	Date
PL. SUB01-REV01	03/15/2024

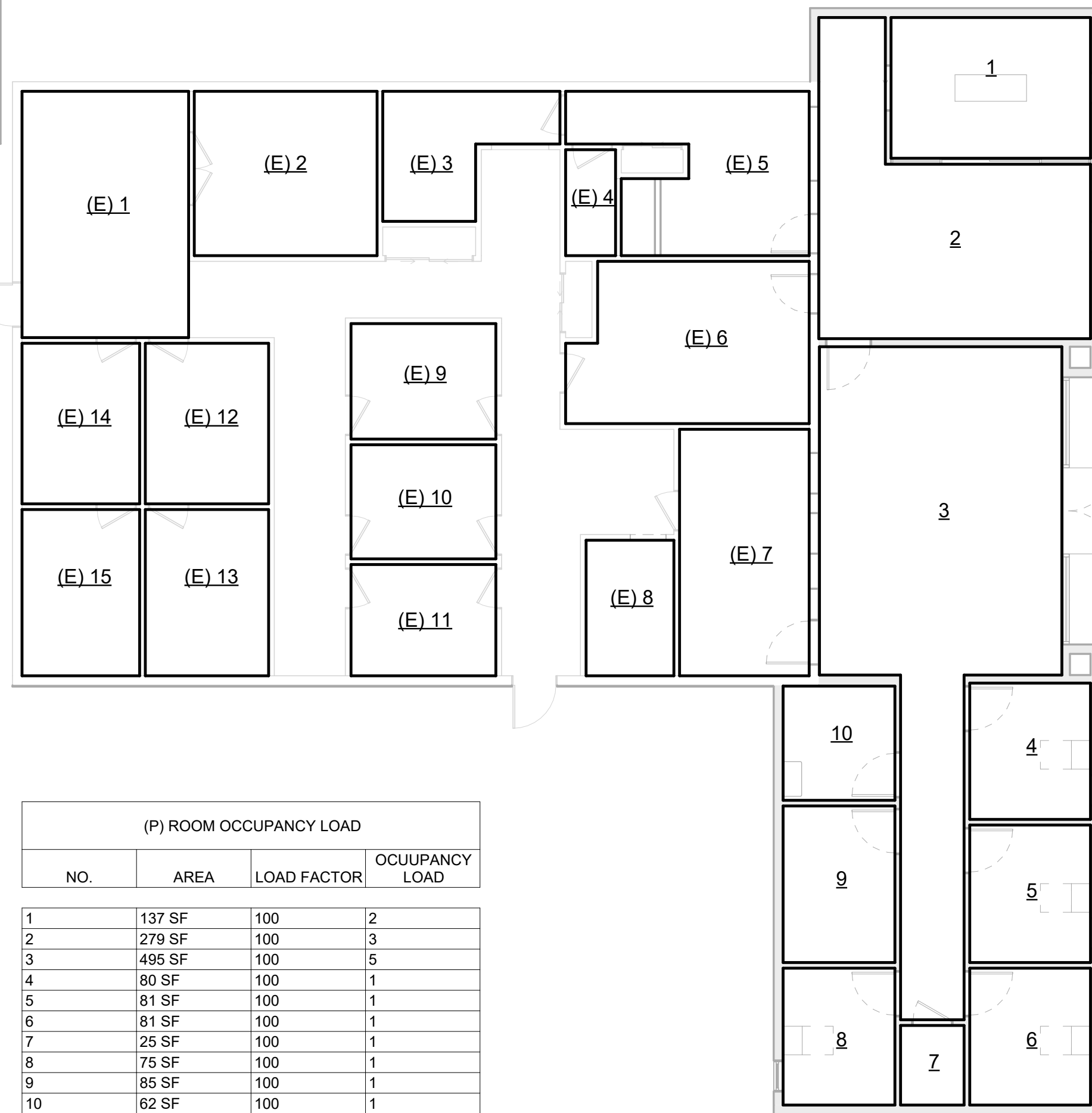
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PLANNING PERMIT

North
(P) ROOM OCCUPANCY
LOAD & EGRESS
DIAGRAM

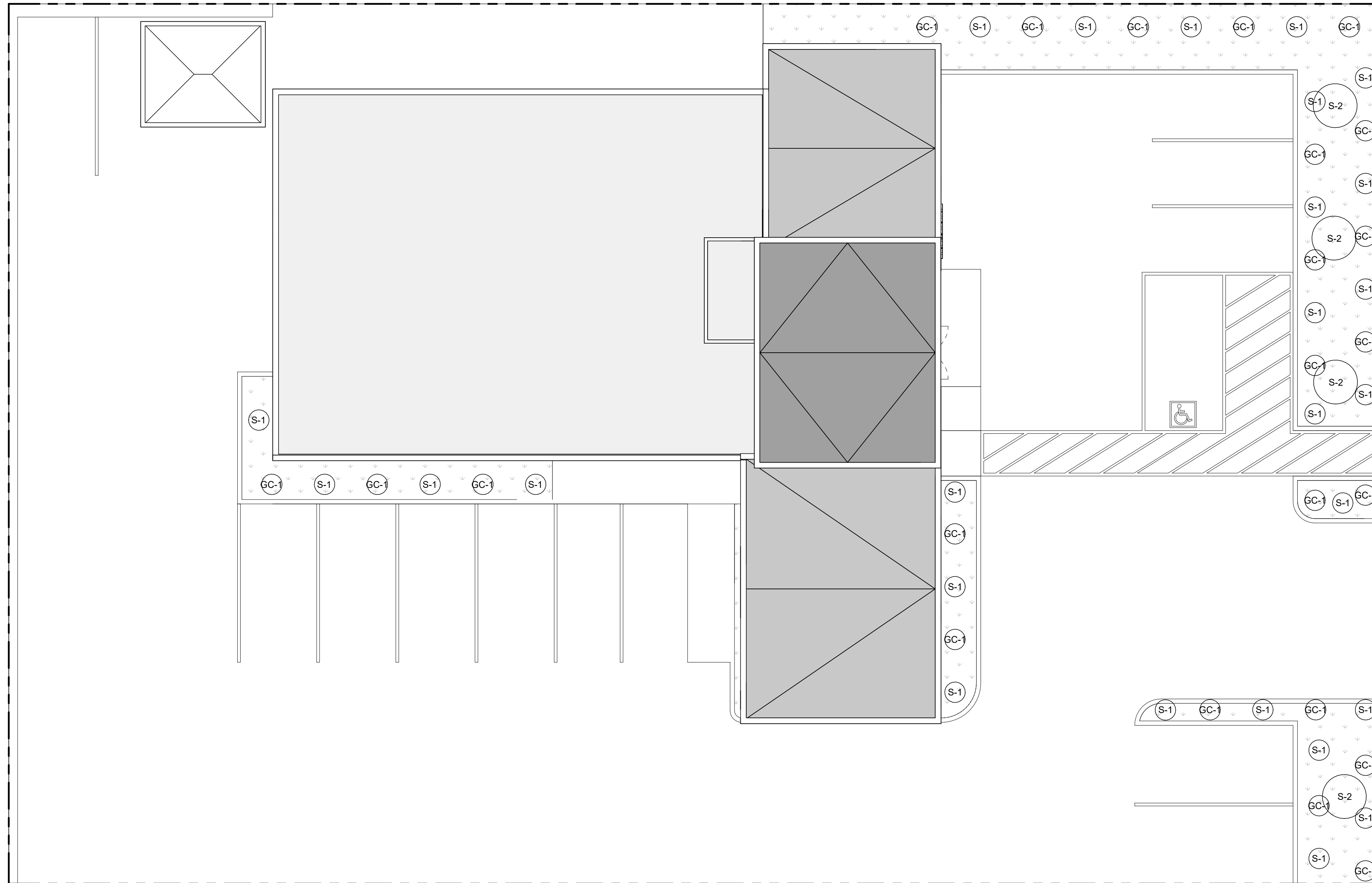


② EGRESS DIAGRAM
1/8" = 1'-0"



(P) ROOM OCCUPANCY LOAD			
NO.	AREA	LOAD FACTOR	OCCUPANCY LOAD
1	137 SF	100	2
2	279 SF	100	3
3	495 SF	100	5
4	80 SF	100	1
5	81 SF	100	1
6	81 SF	100	1
7	25 SF	100	1
8	75 SF	100	1
9	85 SF	100	1
10	62 SF	100	1
(E) 1	200 SF	100	3
(E) 2	147 SF	100	2
(E) 3	81 SF	100	1
(E) 4	26 SF	100	1
(E) 5	154 SF	100	2
(E) 6	180 SF	100	2
(E) 7	156 SF	100	2
(E) 8	58 SF	100	1
(E) 9	82 SF	100	1
(E) 10	81 SF	100	1
(E) 11	79 SF	100	1
(E) 12	97 SF	100	1
(E) 13	100 SF	100	2
(E) 14	92 SF	100	1
(E) 15	95 SF	100	1
TOTAL OCCUPANCY LOAD			39

① 1ST FLR
1/8" = 1'-0"



PLANTING LIST									
NR.	BOTENICAL NAME	COMMON NAME	WATER USE	CIMIS ET ZONES	USDA HARDINESS ZONE	AVERAGE SPREAD	WUCOLS FACTOR	TOTAL QUANTITY	TOTAL WUCOLS FACTOR
S-1	PITTOSPORUM CRASSIFOLIUM	EVERGREEN PITTOSPORUM	MEDIUM	6	20	5 GAL.	0.5	26	13
S-2	RHUS BUSH	SUGAR BUSH	LOW	6	15	5 GAL.	0.1	4	0.4
GC-1	ARCTOSTAPHYLOS EDMUNDsii CVS	MANZANITA CARMEL SUR	MEDIUM	6	15	5 GAL.	0.5	23	11.5
TOTAL								53	24.9
WUCOLS FACTOR									.47

- PLANTING NOTES**
- A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
 - AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED IN THE IRRIGATION SYSTEM.
 - PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
 - MANUAL SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
 - AREAS LESS THAN 10 FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCED NO RUNOFF OR OVERSPRAY.
 - FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1,000 SQ. FT. OR MORE, PRIVATE SUBMETER(S) TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED.
 - AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
 - UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

Description	Date
PL. SUB01-REV01	03/15/2024

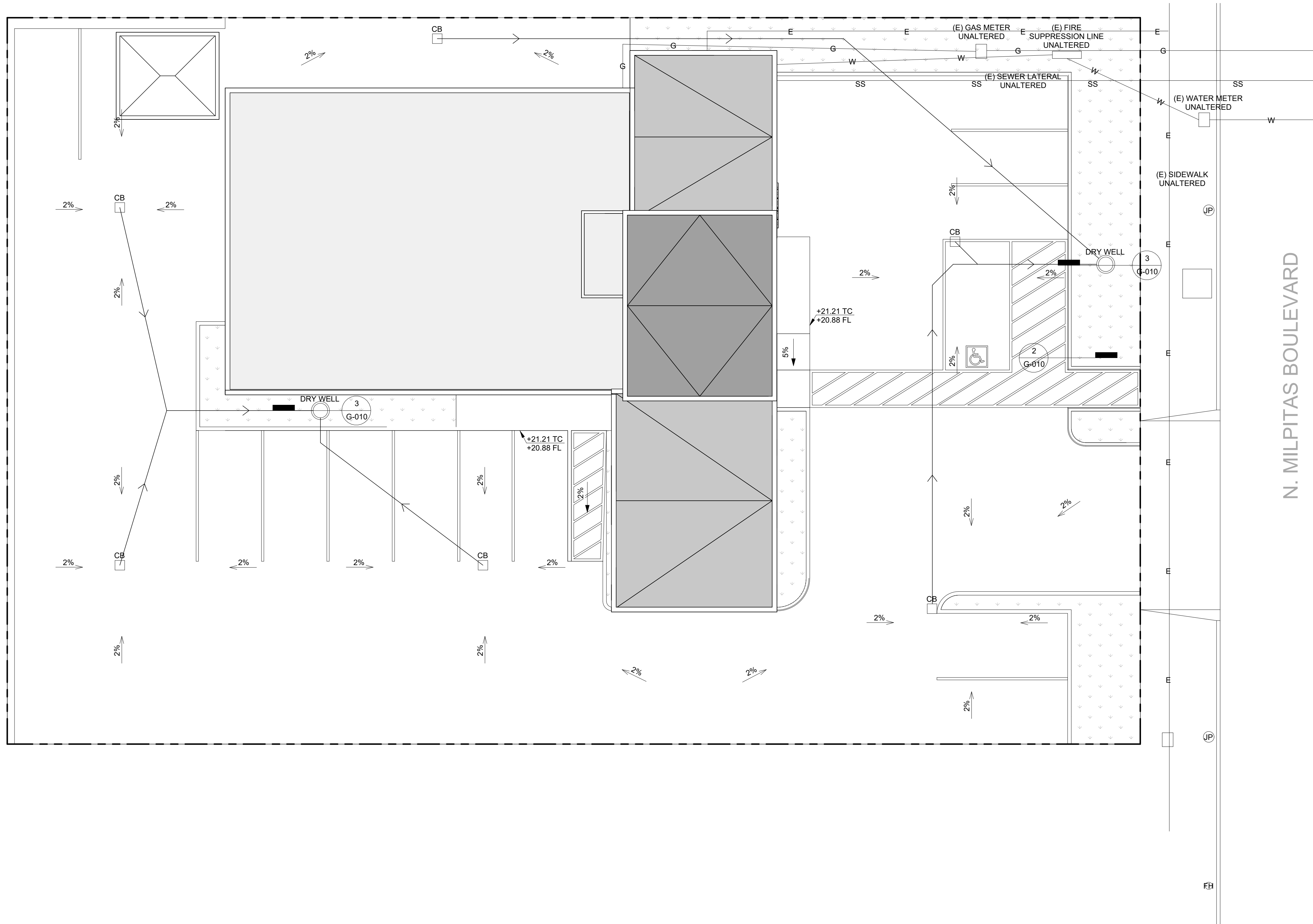
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PLANNING PERMIT

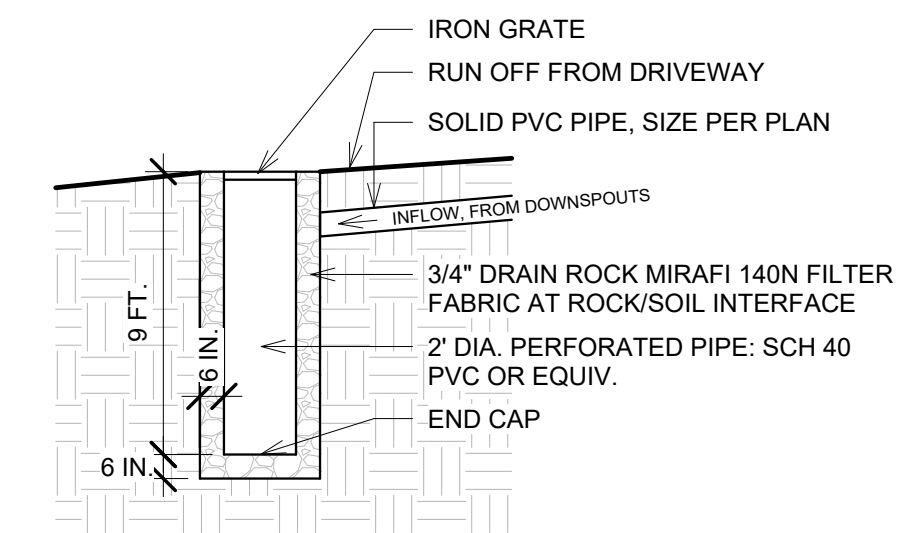
North
(P) LANDSCAPE PLAN

ANIMAL MEDICAL CLINIC

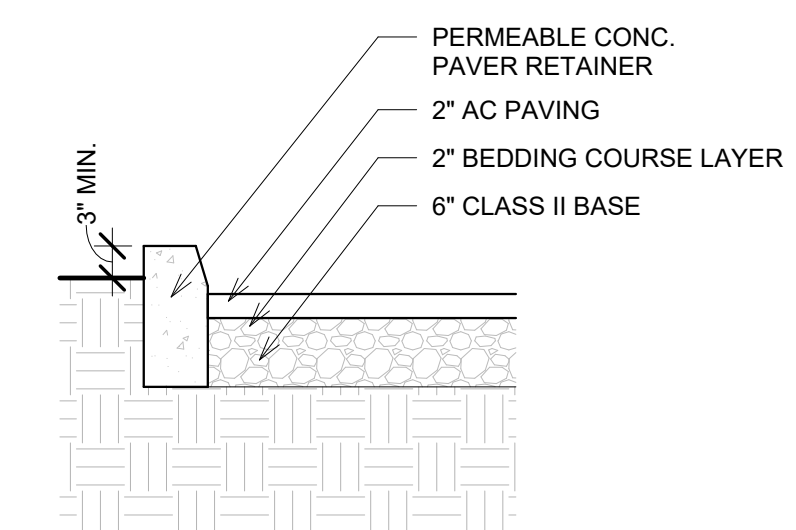
1405 N. MILPITAS AVE. MILPITAS, CA.



N. MILPITAS BOULEVARD



3 DRYWELL
1/2" = 1'-0"



2 DRIVEWAY DETAIL
1/2" = 1'-0"

Description	Date
PL. SUB01-REV01	03/15/2024

- Notes
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PLANNING PERMIT

North
(P) PRELIM. DRAINAGE,
DRAINAGE, STORM
WATER, & UTILITY PLAN

Provision C.3 Data Form

Which Projects Must Comply with Stormwater Requirements?
Effective July 1, 2023, the following projects must comply with Stormwater Requirements:

- All development/redevelopment projects (except single-family home projects) that create and/or replace 5,000 sq. ft. or more of impervious surface on the project site must fill out this worksheet and submit it with the development project application.
- All large single-family home projects that create and/or replace 10,000 sq. ft. or more of impervious surface on the project site must also fill out this worksheet.

These projects are called **Regulated Projects**. The Regulated Project area includes portions of the public right-of-way that are developed or redeveloped as part of the Regulated Project.

Excluded Projects - Interior remodeling projects, routine maintenance or repair projects such as re-roofing and re-surfacing, and smaller single-family homes that are not part of a larger plan of development are **NOT** required to complete this worksheet.

What is an Impervious Surface?

An impervious surface is a surface covering or pavement that prevents the land's natural ability to absorb and infiltrate rainfall/stormwater. Impervious surfaces include, but are not limited to rooftops, walkways, paved patios, driveways, parking lots, storage areas, impervious concrete and asphalt, gravel surfaces, and any other continuous watertight pavement or covering.

Pervious pavement, underlain with pervious soil and pervious storage material (e.g., drain rock), that infiltrates rainfall at a rate equal to or greater than surrounding unpaved areas OR that stores and infiltrates the water quality design volume specified in Provision C.3.d of the Municipal Regional Stormwater Permit (MRP), is not considered an impervious surface.

For More Information

The SCVURPPP C.3 Stormwater Handbook provides more information on selection of site design, source control, and treatment measures for a development project as well as guidance on preparing a stormwater control plan.

1. Project Information
Project Name: ANIMAL MEDICAL CLINIC APN # 022-02-010

Project Address: 1405 N. MILPITAS BLVD.

Cross Streets:

Applicant/Developer Name: HYDER KHAN

Project Phases: 1 of 1 Engineer:

Project Type (Check all that apply): New Development Redevelopment

- Private Public Large Detached Single-Family Home
 Residential Commercial Industrial Mixed Use Institutional
 Other

Project Description: AN ADDITION TO AN EXISTING ANIMAL VETENARIAN CLINIC

Project Watershed/Receiving Water (creek, river or bay): Guadalupe Creek

2. Project Size

Project Totals	Total Existing (Pre-project) Area (ft ²)	b. Total Land Area Disturbed During Construction: _____ (ft ²) (including clearing, grading, stockpiling, or excavating)			Total Post-Project Area (ft ²)
		Existing Area Retained ¹ (ft ²)	Existing Area Replaced ² (ft ²)	New Area Created ³ (ft ²)	
Impervious Area (IA)					
c. Total on-site IA	13,193	8,556	1,576	1,429	11,561
d. Total off-site IA ⁴	1,100		495	0	495
e. Total project IA	14,293	8,556	2,071	1,429	12,056
f. Total new and replaced IA				3,500	
Pervious Area (PA)⁵					
g. Total on-site PA	2,407				489
h. Total off-site PA ⁶	0				0
i. Total project PA	2,407				489
j. Total Project Area (2.e.+2.i.)	16,700				12,545
k. Percent Replacement of IA in Redevelopment Projects: (Existing on-site IA Replaced ÷ Existing Total on-site IA) x 100%					11.945%

¹Retained" means to leave existing IA in place. An IA that receives surface treatment (e.g., pavement resurfacing/slurry seal/grind) only is considered "retained". This category does not apply to off-site areas.

²The "new" and "replaced" IA are based on the total project area and not specific locations within the project. Constructed IA on a project that does not exceed the total pre-project IA will be considered "replaced" IA. A project will have "new" IA only if the total post-project IA exceeds the total pre-project IA (total post-project IA - total pre-project IA = New IA).

³Off-site areas include sidewalks and other parts of the public right-of-way (e.g., roads, bike lanes, curbs, ramps, park strip) that are being reconstructed as part of the project footprint. Note that gravel is considered an impervious surface.

⁴Include bioretention areas, infiltration areas, green roofs, and pervious pavement in PA calculations.

3. State Construction General Permit Applicability:

- a. Is #2.b. equal to 43,560 ft² (1 acre) or more?
 Yes, applicant must obtain coverage under the State Construction General Permit (see https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)
 No, applicant does not need coverage under the State Construction General Permit.

4. MRP Provision C.3 Applicability:

- a. Is #2.f. equal to 5,000 ft² or more, or 10,000 ft² for single family homes?
 Yes, C.3. source control, site design and treatment requirements apply
 No, C.3. source control and site design requirements may apply - check with local agency
- b. For redevelopment projects, is #2.k. equal to 50% or more?
 Yes, C.3. requirements (site design and source control, as appropriate, and stormwater treatment) apply to the entire on-site area
 No, C.3. requirements only apply to the impervious area created and/or replaced

5. Hydromodification Management (HM) Applicability:

- a. Does the project create and/or replace one acre or more of impervious surface AND is the total post-project impervious area greater than the pre-project (existing) impervious area?
 Yes (continue) No - exempt from HM, go to page 3
- b. Is the project located in an area of HM applicability (green area) on the HM Applicability Map?
www.scvurpp.org/hmp-map
 Yes, the project must implement HM requirements
 No, the project is exempt from HM requirements

10. Operation & Maintenance Information

- A. Property Owner's Name: DR. DALJIT S. SAINI
- B. Responsible Party for Stormwater Treatment/Hydromodification Control O&M:
a. Name: TBD
b. Address:
c. Phone/E-mail:

This section to be completed by Municipal staff.
O&M Responsibility Mechanism
Indicate how responsibility for O&M is assured. Check all that apply:
 O&M Agreement
 Other mechanism that assigns responsibility (describe below):

This section to be completed by Municipal staff (Note: This is an optional section that agencies should modify per their internal review and tracking process.)
Reviewed:
Community Development Department Planning Division Building Division
Public Works Department Engineering Other (Specify)
Return form to: _____ **Data entry performed by:** _____

6. Selection of Specific Stormwater Control Measures:

Site Selection Measures

- Minimize land disturbed (e.g., protect trees and soil)
- Minimize impervious surfaces (e.g., reduction in post-project impervious surface)
- Minimum-impact street or parking lot design (e.g., parking on top of or under buildings)
- Cluster structures/ pavement
- Disconnected downspouts (direct runoff from roofs, sidewalks, patios to landscaped areas)
- Pervious pavement
- Green roof
- Other self-treating⁷ area (e.g., landscaped areas)
- Self-retaining⁸ area
- Rainwater harvesting and use (e.g., rain barrel, cistern for designated use)⁹
- Preserved open space
- Protected riparian and wetland areas/buffers
- Other _____

Source Control Measures

- Wash area/tracks, drain to sanitary sewer⁷
- Covered dumpster area, drain to sanitary sewer⁷
- Sanitary sewer connection or accessible cleanout for swimming pool/spa/fountain⁷
- Beneficial landscaping (minimize irrigation, runoff, pesticides and fertilizers; promotes treatment)
- Outdoor material storage protection
- Covers, drains for loading docks, maintenance bays, fueling areas
- Maintenance (pavement sweeping, catch basin cleaning, good housekeeping)
- Storm drain labeling
- Other _____

Treatment Measures

- None (all impervious surface drains to self-retaining areas)
- Bioretention area
- Flow-through planter
- Tree Well Filter or Trench with bioretention soils
- Rainwater harvest/use (e.g., cistern for designated use, sized for C.3.d treatment)
- Pervious pavement, sized for C.3.d treatment

- Infiltration trench
- Infiltration well/dry well
- Subsurface Infiltration System (e.g., vault or large diameter conduit over drain rock)
- Other _____

Non-LID Treatment Methods

- Proprietary high flow rate tree box filter⁷
- Proprietary high flow media filter (sand, compost, or proprietary media)⁸
- Vegetated filter strip⁹
- Extended detention basin⁹
- Vegetated swale⁹
- Other _____

Flow Duration Controls for Hydromodification Management (HM)

- Extended Detention basin
- Underground tank or vault
- Bioretention with outlet control
- Other _____

⁷ See SCVURPPP C.3 Stormwater Handbook for definitions.

⁸ Optional site design measure; does not have to be sized to comply with Provision C.3.d treatment requirements.

⁹ Subject to sanitary sewer authority requirements.

⁸ These treatment measures are only allowed if the project qualifies as a "Special Project".

⁹ These treatment measures are only allowed as part of a multi-step treatment process (i.e., for pretreatment).

7. Stormwater Treatment Measure (STM) Sizing for Projects with Treatment Requirements

Stormwater Treatment Measure (STM)	Hydraulic Sizing Criteria Used [*]
Infiltration well/dry well	3
Choose from list	Choose from list
Choose from list	Choose from list
Choose from list	Choose from list

*Key: 1a: Volume - WEF Method
1b: Volume - CASQA BMP Handbook Method
2a: Flow - Factored Flood Flow Method
2b: Flow - CASQA BMP Handbook Method
2c: Flow - Uniform Intensity Method
3: Combination Flow and Volume Design Basis

8. Additional Stormwater Treatment of Non-Regulated Areas - Is the project providing stormwater treatment for non-regulated impervious area that is not included in **Item 2 Project Size**? For example, stormwater treatment of right-of-way areas that are outside the project footprint, or treatment measures that are treating more right-of-way impervious area quantities than required.
 Yes, complete the table below
 No

Additional Stormwater Treatment of Non-Regulated Areas

Non-Regulated Area Draining to Treatment Measure			Treatment Measures	Hydraulic Sizing Criteria
Impervious Area Treated (ft ²)	Pervious Area Treated (ft ²)	Total Area Treated (ft ²)		
			Choose from list	Choose from list
			Choose from list	Choose from list
			Choose from list	Choose from list
			Choose from list	Choose from list
			Choose from list	Choose from list
			Choose from list	Choose from list

9. Alternative Certification: Was the treatment system sizing and design reviewed by a qualified third-party professional that is not a member of the project team or agency staff?
 Yes No Name of Third-party Reviewer _____

Description	Date

Notes

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PLANNING PERMIT

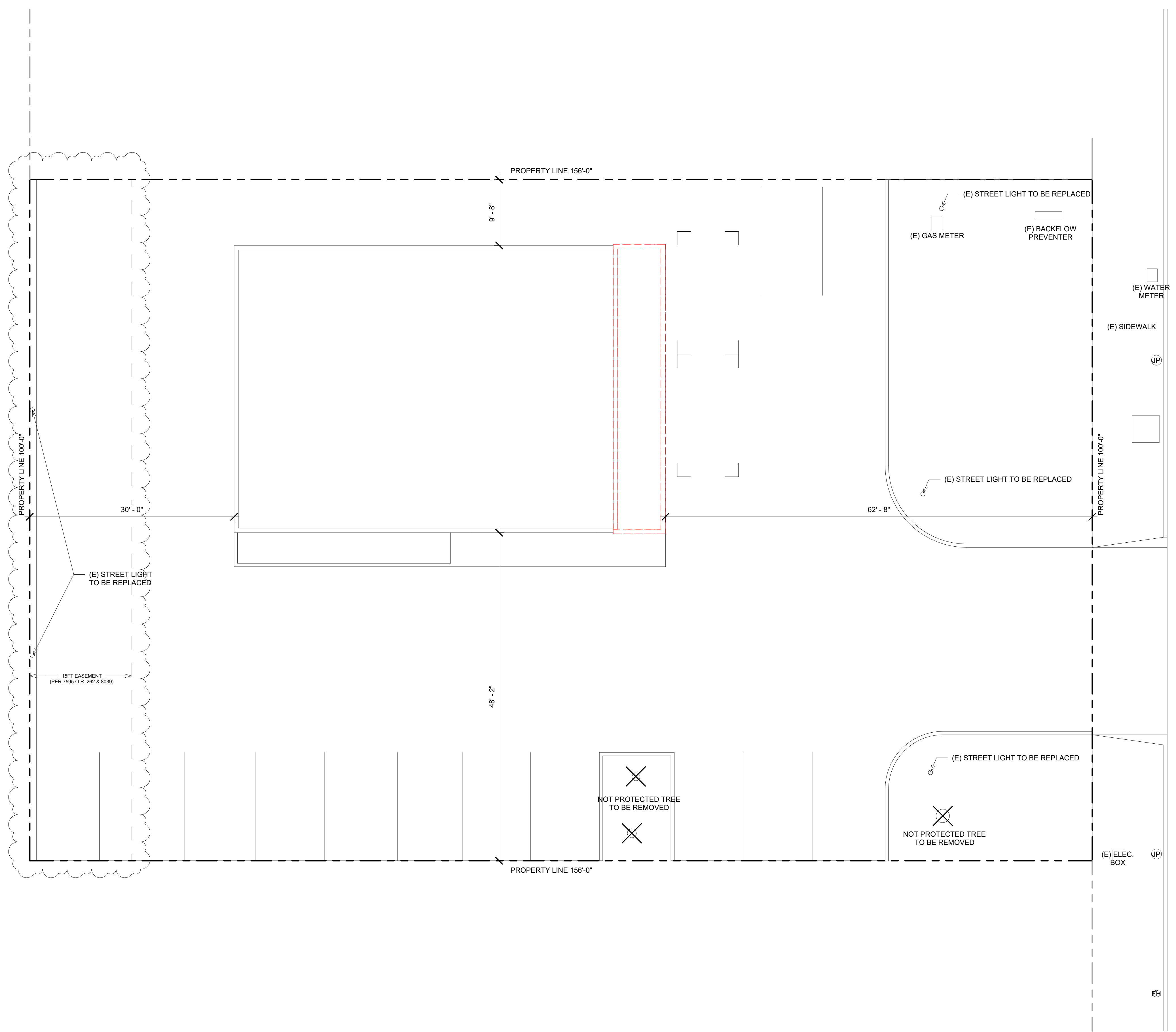
ANIMAL MEDICAL CLINIC

1405 N. MILPITAS AVE. MILPITAS, CA.

LEGEND

---	PROPERTY LINES
- - -	SETBACK LINES
---	(E) BUILDING FOOTPRINT
---	(P) BUILDING FOOTPRINT
-E-	ELEC. LINE
-G-	GAS LINE
-SS-	SANITARY SEWER LINE
-W-	WATER LINE
-O-	FENCE LINE
-X-	TREE PROTECTION LINE

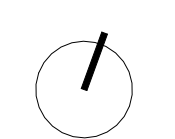
TREE REMOVAL:
THREE EXISTING NON-HERRITAGE TREES TO BE REMOVED
TO MAKE SPACE FOR REQUIRED PARKING



Description	Date
PL. SUB01-REV03	05/06/2024

- Notes
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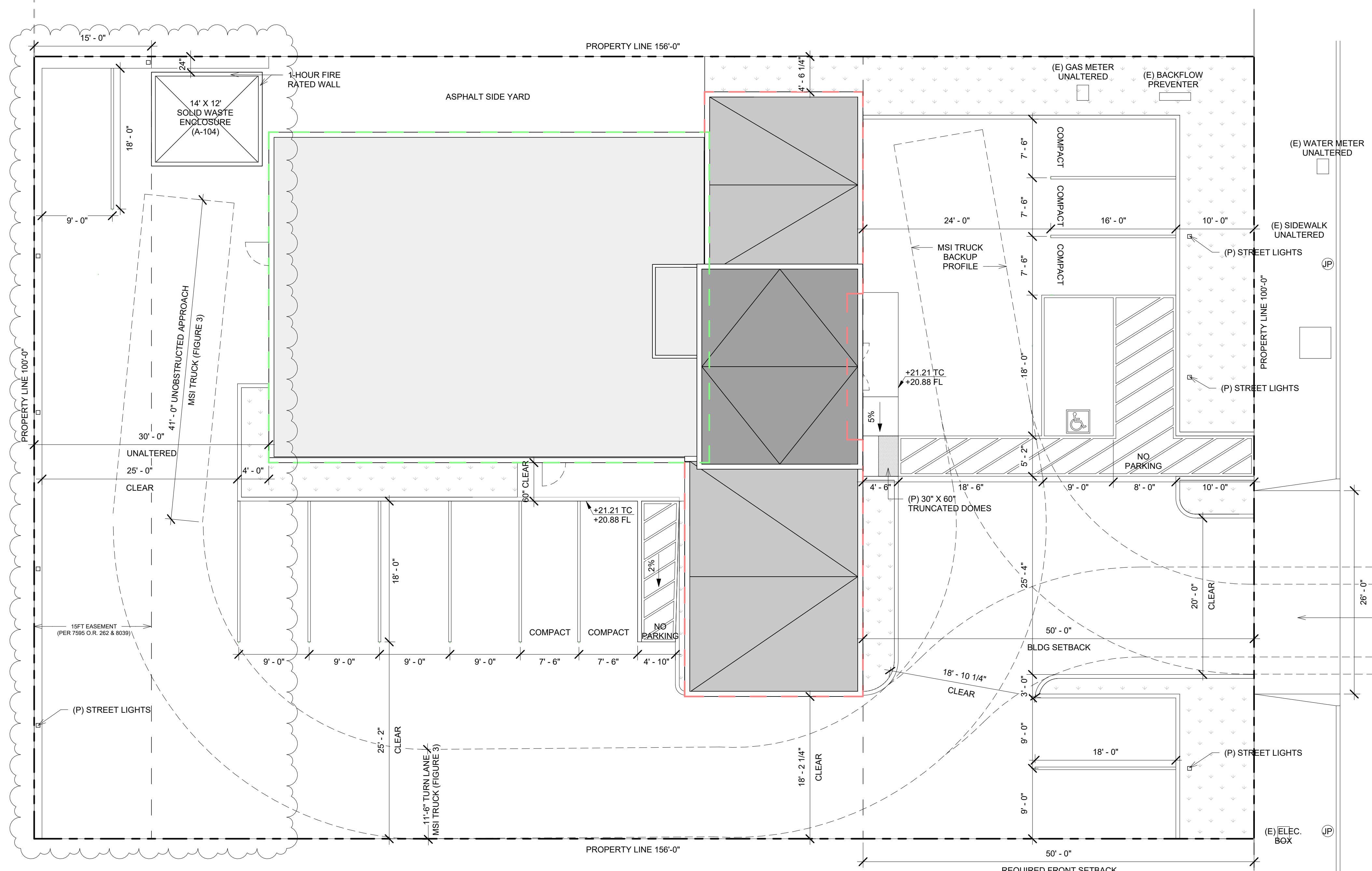
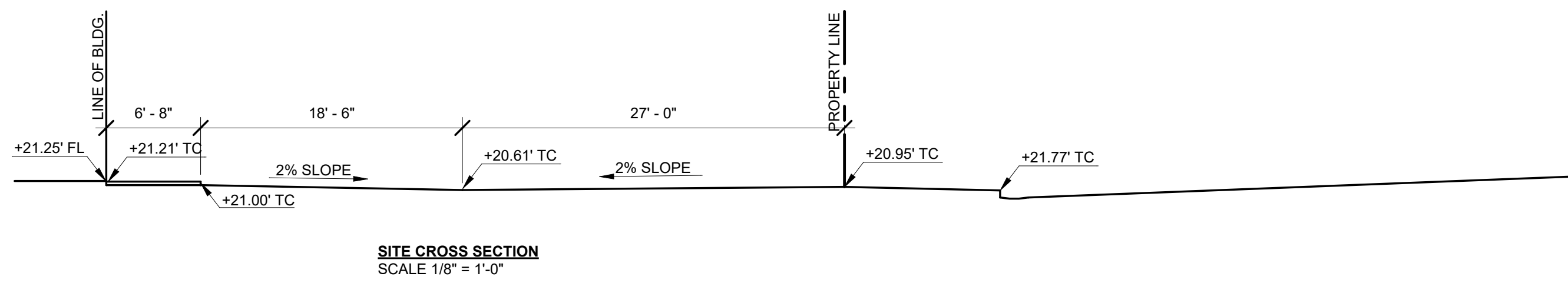
PLANNING PERMIT



North
(E) SITE PLAN

LEGEND

- PROPERTY LINES
- SETBACK LINES
- (E) BUILDING FOOTPRINT
- (P) BUILDING FOOTPRINT
- E ELEC. LINE
- G GAS LINE
- SS SS SANITARY SEWER LINE
- W W WATER LINE
- O O FENCE LINE
- X X TREE PROTECTION LINE



1 (P) SITE PLAN
1/8" = 1'-0"

PARKING SCHEDULE:

BUILDING SF (3952 SF) / 250 *80% = 13 REQUIRED PARKING SPACES
13 SPACES * 40% = 5 COMPACT PARKING SPACES ALLOWED
1 REQUIRED ACCESSABLE PARKING SPACE

PROPOSED PARKING

1 ACCESSABLE PARKING SPACE (9' X 18' WITH 7' ACCESS AISLE)
5 COMPACT PARKING SPACES (7.5' X 16')
7 REGULAR PARKING SPACES (9' X 18')

FIRE DEPARTMENT ACCESS NOTES:

- NO PARKING IN FIRE ACCESS ROADS. THE REQUIRED ACCESS ROAD SHALL BE DESIGNATED AND CLEARLY MARKED AS A FIRE LANE. THE DESIGNATED FIRE LANE SHALL BE IDENTIFIED AS SET FORTH IN SECTION 22500.1 OF THE VEHICLE CODE. THE DESIGNATION SHALL BE INDICATED (1) BY A SIGN POSTED IMMEDIATELY ADJACENT TO, AND VISIBLE FROM, THE DESIGNATED PLACE CLEARLY STATING IN LETTERS NOT LESS THAN ONE INCH IN HEIGHT THAT THE PLACE IS A FIRE LANE, (2) BY OUTLINING OR PAINTING THE PLACE IN RED AND, IN CONTRASTING COLOR, MARKING THE PLACE WITH THE WORDS "FIRE LANE", WHICH ARE CLEARLY VISIBLE FROM A VEHICLE, OR (3) BY A RED CURB OR RED PAINT ON THE EDGE OF THE ROADWAY UPON WHICH IS CLEARLY MARKED THE WORDS "FIRE LANE". CFC SECTION 503.3
- MINIMUM MARKING SHALL BE POLE SIGNAGE AND RED CURB WITH "FIRE LANE - CVC 22500.1" STENCIL. SIGNAGE AND RED CURBS SHALL BE DONE THROUGHOUT AND AS NEEDED TO CLEARLY IDENTIFY THE NO PARKING ZONES.
- PREMISES IDENTIFICATION. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS AND SHALL BE CONSISTENT WITH MILPITAS STANDARDIZED ADDRESSING GUIDELINES. CFC SECTION 505. THE FIRE DEPT. MAY REQUIRE THE INSTALLATION OF ADDRESS NUMBERS AT MULTIPLE BUILDING LOCATIONS. CFC SECTION 102.9
- ALL REQUIRED ADDRESSES SHALL BE ILLUMINATED. CFC SECTION 505.3, ADDED BY MMC V-300-2.60

EXISTING SIDEWALK WHERE DAMAGED DUE TO CONSTRUCTION SHALL BE SAW CUT, REMOVED AND REPLACED AS PER CITY OF MILPITAS STANDARDS

SOLID WASTE CALCULATION

Source: CalRecycle's statewide average data for Medical & Health Business Group (Tons per employee per year)

MATERIAL TYPE	DISPOSED TONS	%	CURBSIDE RECYCLE	%	CURBSIDE ORGANICS	%	OTHER DIVERSION	%	TOTAL GENERATION
PAPER	1	25.9%	0	90%	0	10.4%	2	0.4%	2
GLASS	0	0.5%	0	0.4%	0	0.0%	0	0.0%	0
METAL	0	1.6%	0	2.1%	0	4.0%	0	0.1%	0
ELECTRONICS	0	0.2%	0	0.1%	0	0.0%	0	12.9%	0
PLASTIC	0	9.4%	0	5.4%	0	9.9%	0	0.0%	0
OTHER ORGANIC	3	54.6%	0	1.3%	0	75.7%	3	59.2%	3
INERTS & OTHER	0	3.0%	0	0.1%	0	0.0%	0	0.0%	0
HHW	0	0.1%	0	0.0%	0	0.0%	0	0.0%	0
SPECIAL WASTE	0	2.0%	0	0.5%	0	0.0%	0	27.4%	0
MIXED RESIDUE	0	2.7%	0	0.2%	0	0.0%	0	0.0%	0
GRAND TOTAL	5 TON	100%	0 TON	100%	0 TON	100%	0 TON	100%	5 TON

MIXED RECYCLING BIN 2 TONS * 7 EMPLOYEES = 14 TONS = 52 CU.YD. / 26 WEEKS = 2 CU.YD. WASTE BIN
GARBAGE BIN 3 TONS * 7 EMPLOYEES = 21 TONS = 78 CU.YD. / 26 WEEKS = 3 CU.YD. WASTE BIN

Description	Date
PL. SUB01-REV01	03/15/2024
PL. SUB01-REV02	04/16/2024
PL. SUB01-REV03	05/06/2024

- Notes
- All dimensions are shown to F.O. stud unless otherwise noted.
 - All specifications are listed in Outline specification document.

PLANNING PERMIT

North
(P) SITE PLAN

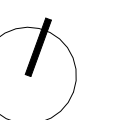
ANIMAL MEDICAL CLINIC

1405 N. MILPITAS AVE. MILPITAS, CA.

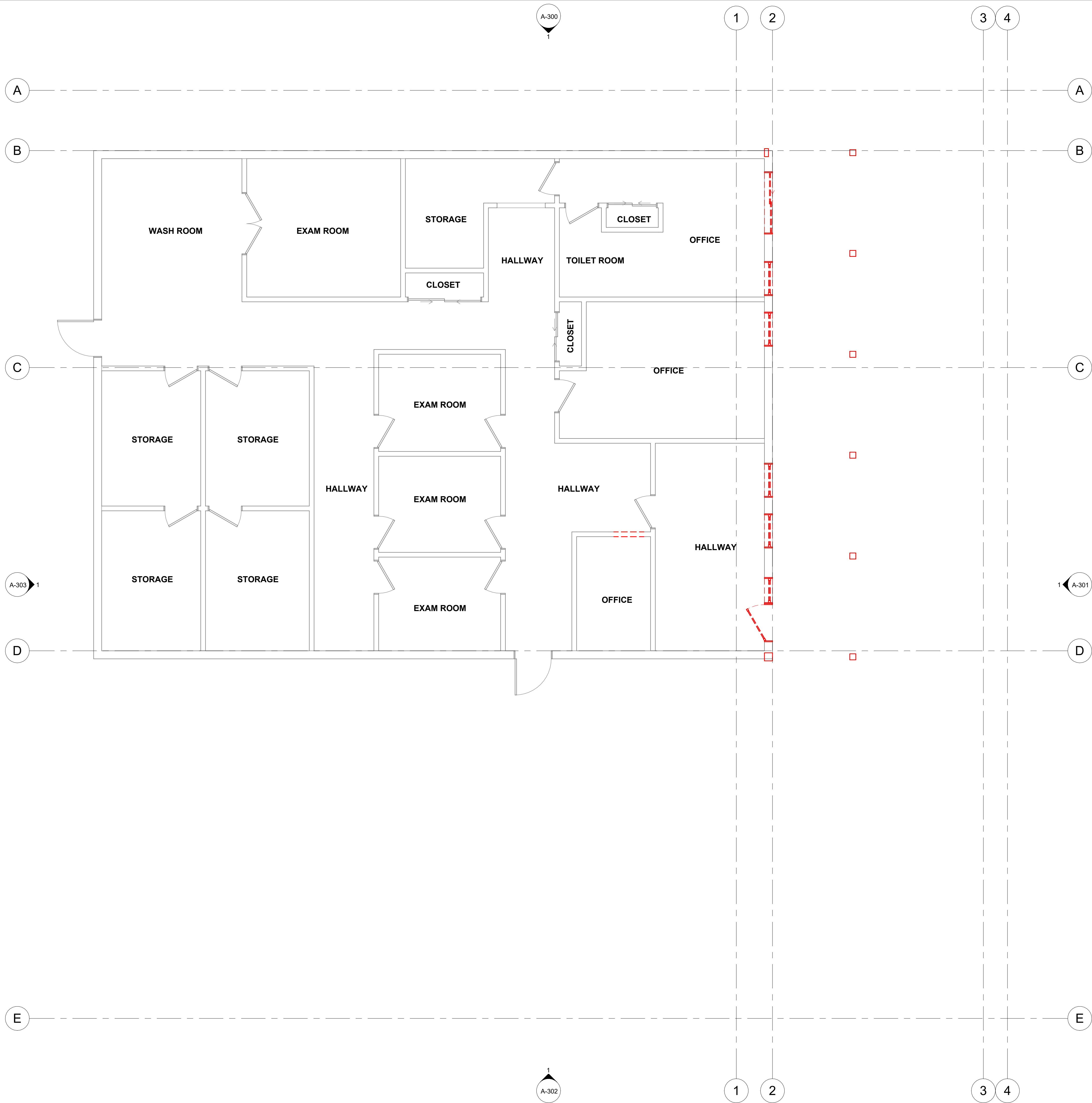
Description	Date

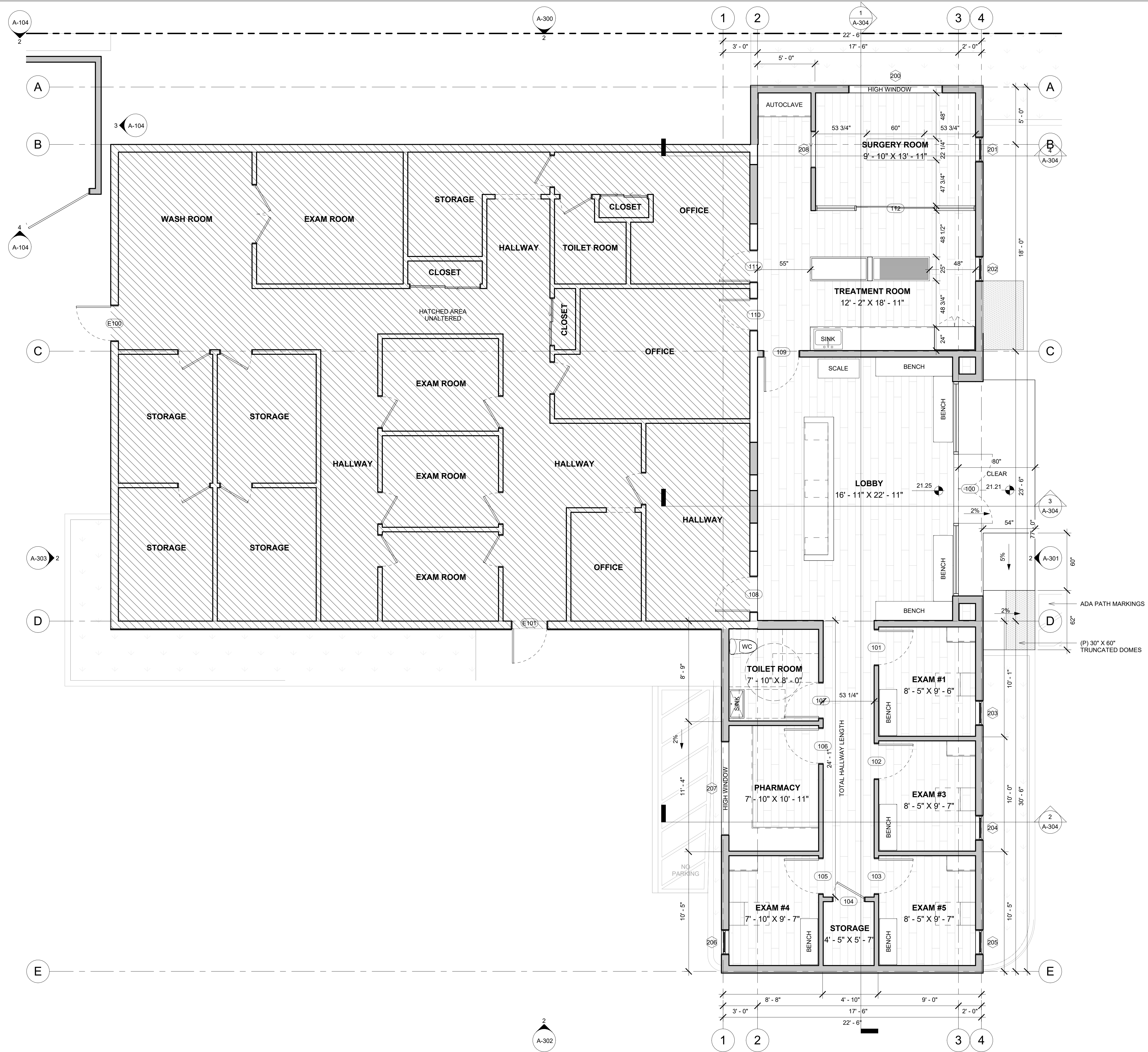
- Notes
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PLANNING PERMIT



North
(E) 1ST FLOOR PLAN





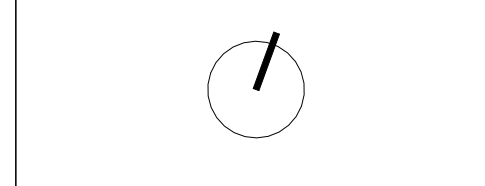
ANIMAL MEDICAL CLINIC

1405 N. MILPITAS AVE. MILPITAS, CA.

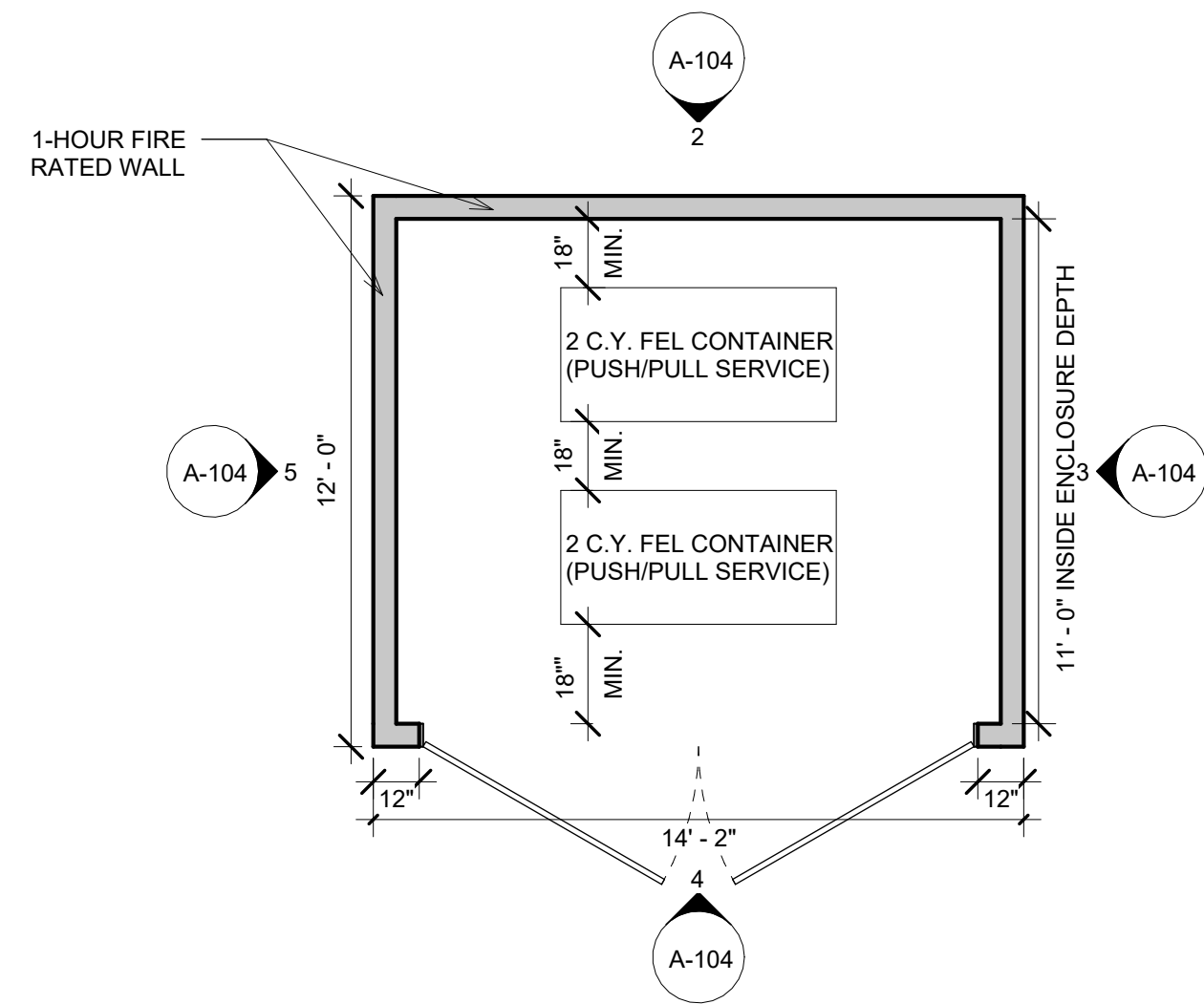
Description	Date
PL. SUB01-REV01	03/15/2024

- Notes
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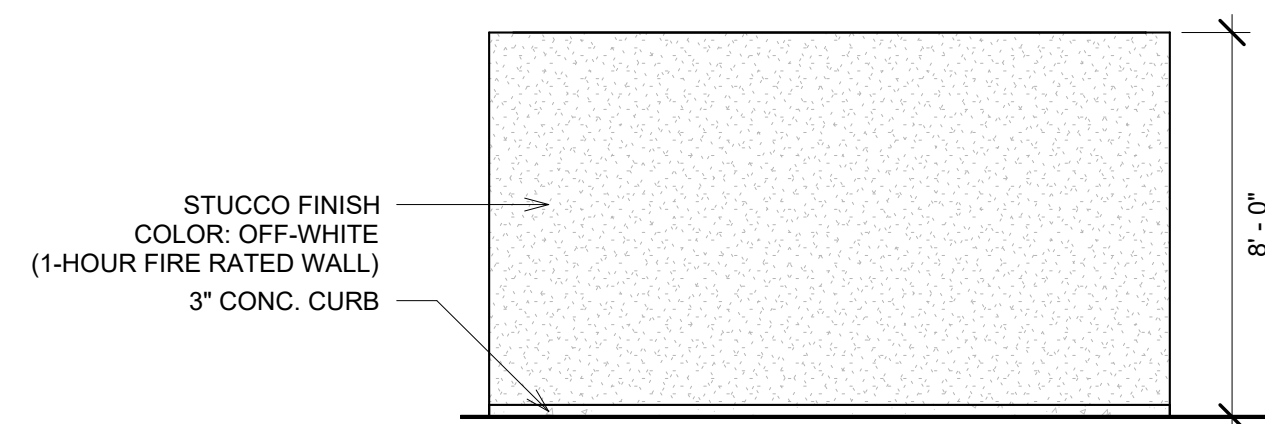
PLANNING PERMIT



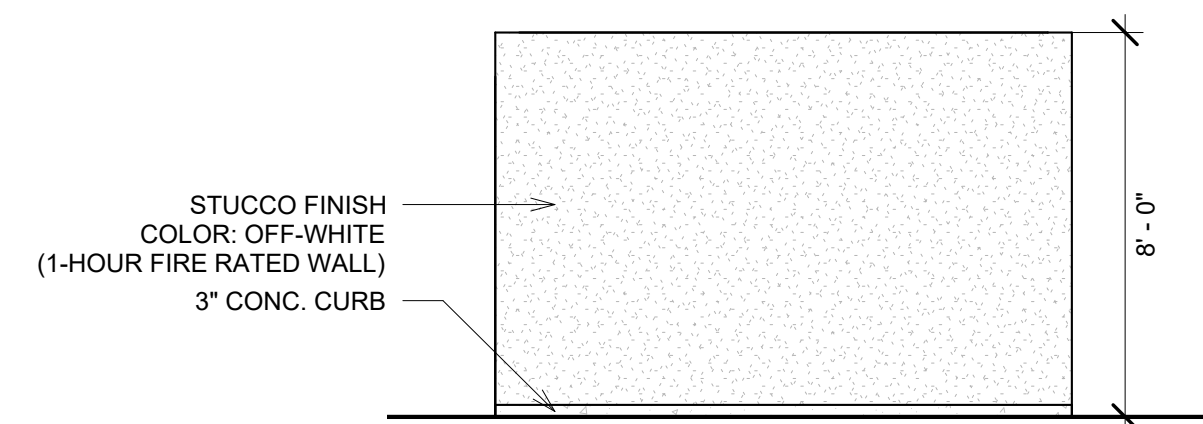
North
(P) 1ST FLOOR PLAN



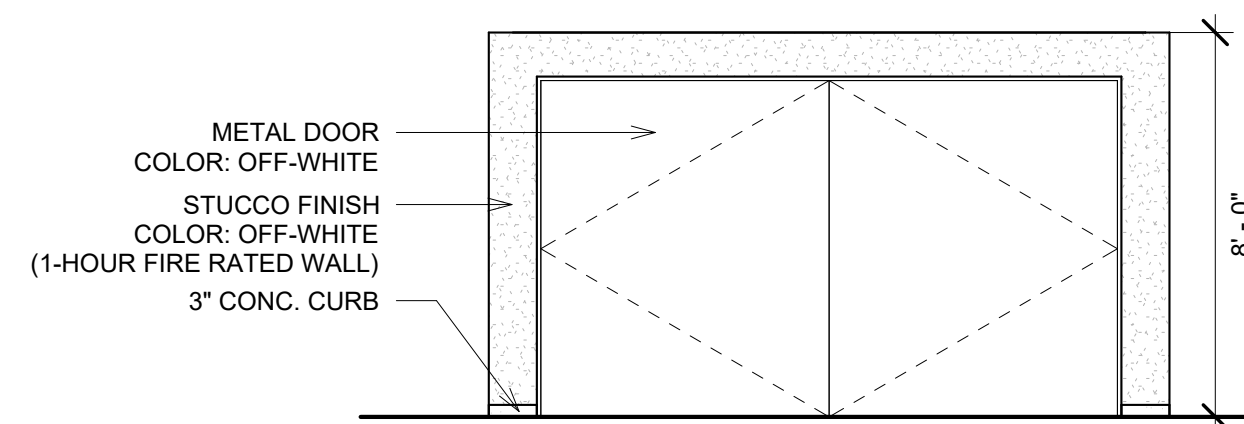
① (P) SOLID WASTE ENCLOSURE PLAN
1/4" = 1'-0"



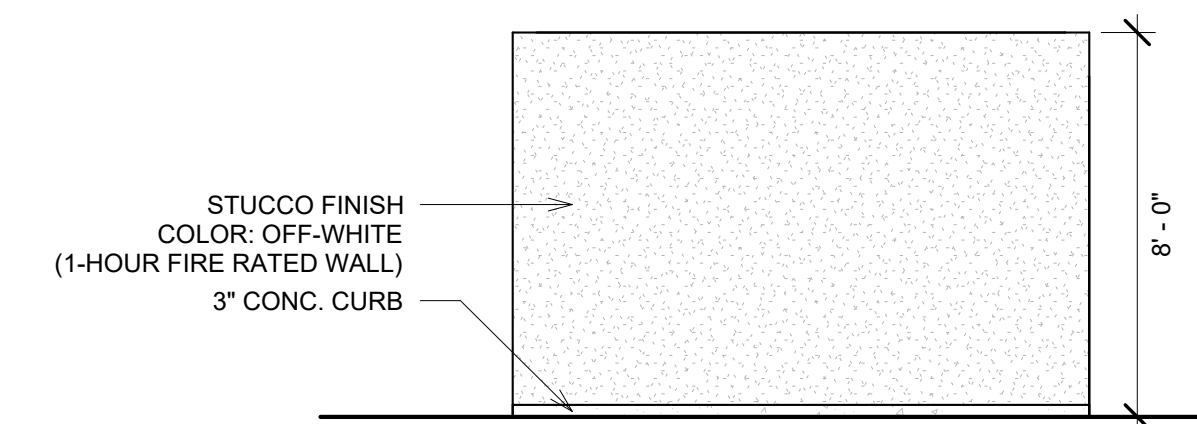
② NORTH ELEVATION
1/4" = 1'-0"



③ EAST ELEVATION
1/4" = 1'-0"



④ SOUTH ELEVATION
1/4" = 1'-0"

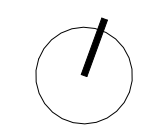


⑤ WEST ELEVATION
1/4" = 1'-0"

Description	Date
PL. SUB01-REV01	03/15/2024

- Notes
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PLANNING PERMIT



North
(P) SOLID WASTE ENCLOSURE PLAN & ELEVATIONS

ANIMAL MEDICAL CLINIC

1405 N. MILPITAS AVE. MILPITAS, CA.

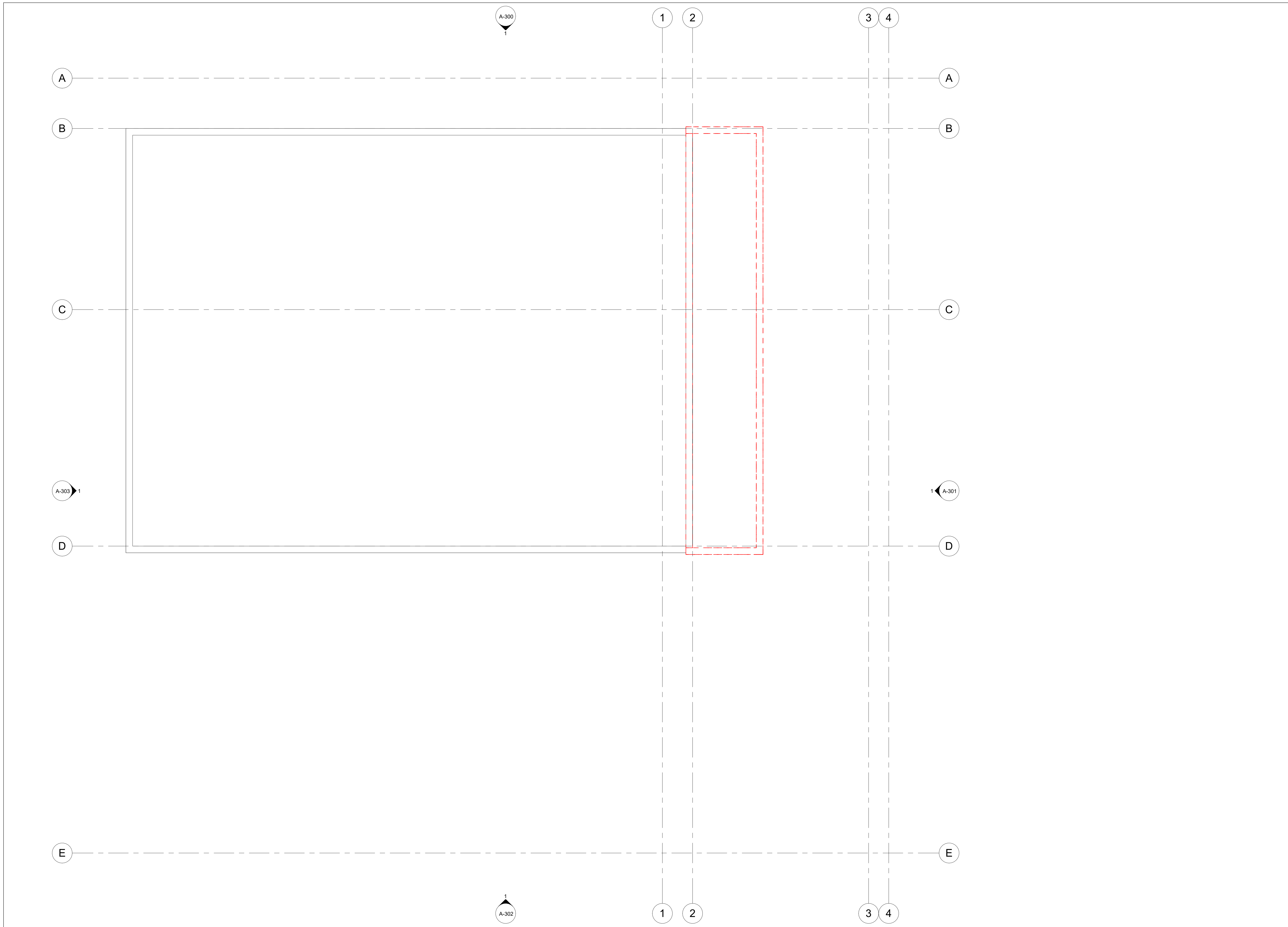
Description	Date

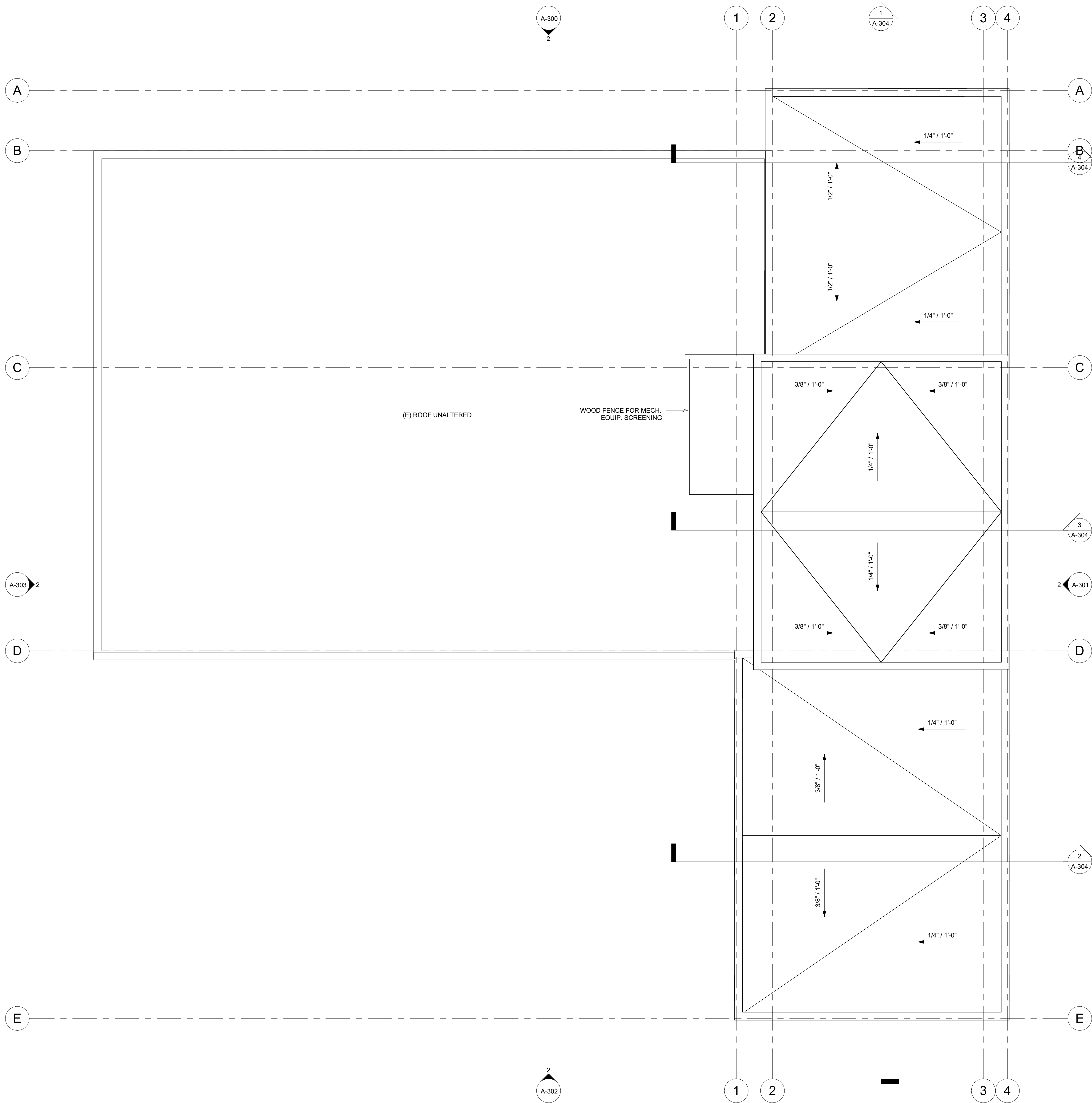
- Notes
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PLANNING PERMIT



North
(E) ROOF PLAN

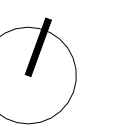




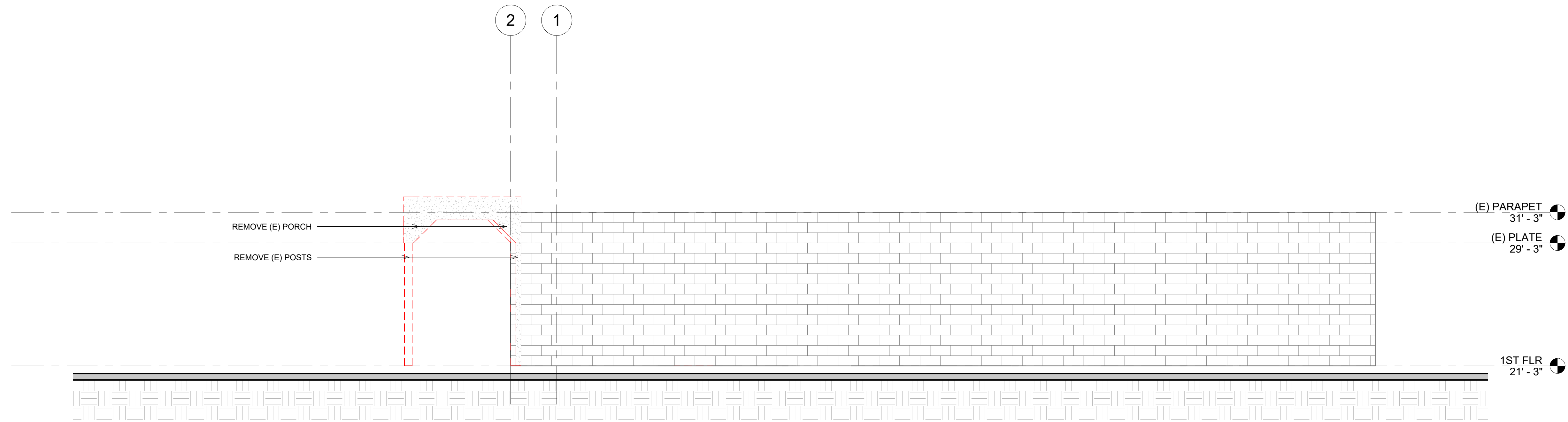
Description	Date

- Notes
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 - All specifications are listed in Outline specification document.

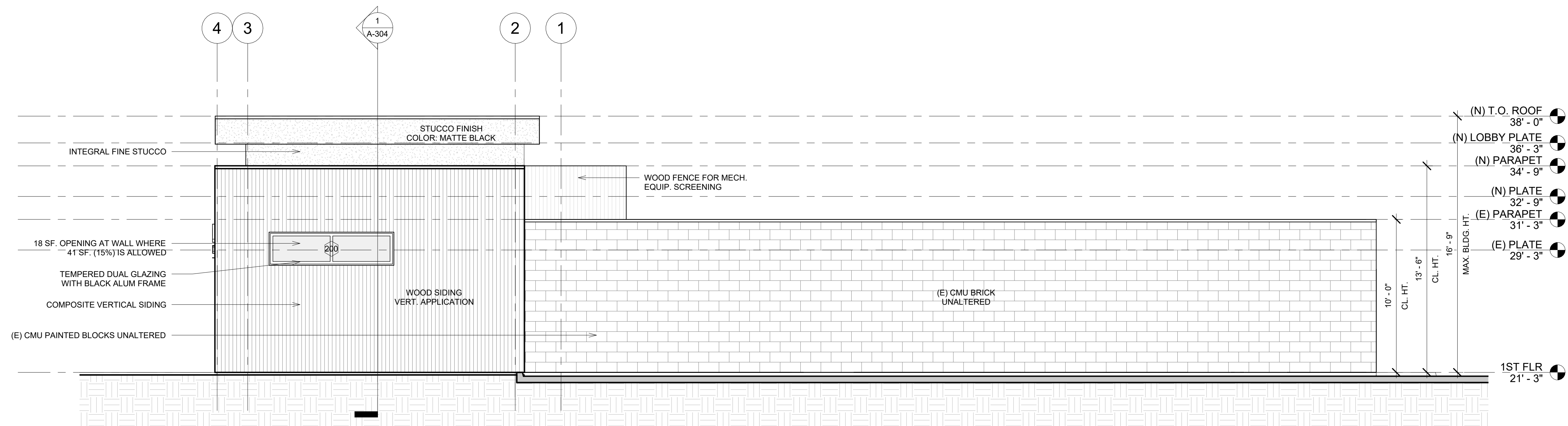
PLANNING PERMIT



North
(P) ROOF PLAN



① (E) NORTH ELEVATION
1/4" = 1'-0"



② (P) NORTH ELEVATION
1/4" = 1'-0"

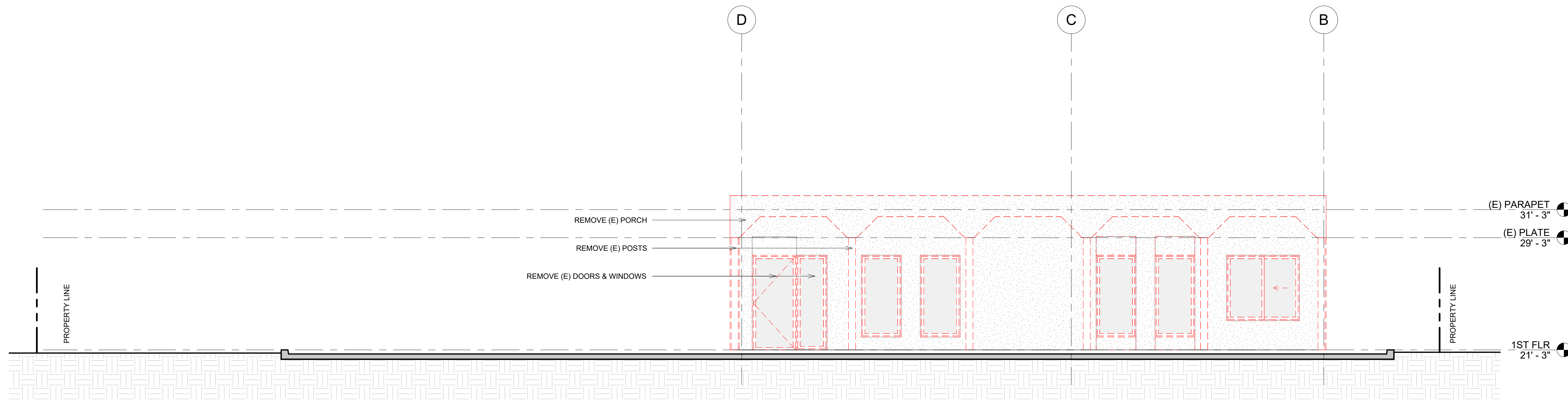
- LEGEND
- ◊ WALL TAG
 - # WINDOW TAG
 - # DOOR TAG
 - T TEMPERED TAG
 - OBS OBSCURE TAG
 - # PLAN NOTE

Description	Date

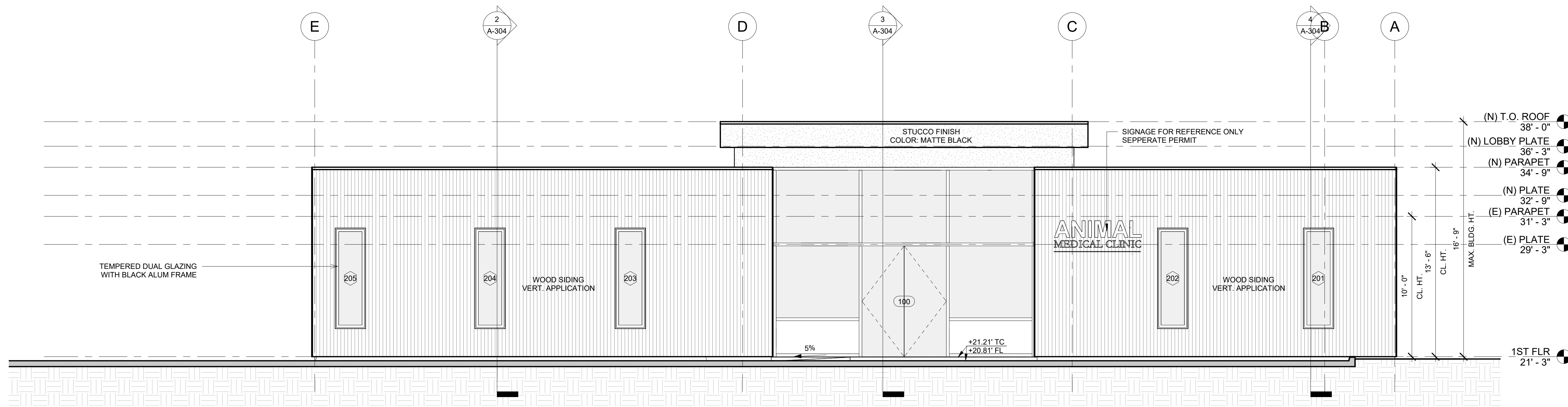
- Notes
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PLANNING PERMIT

North
(E) & (P) NORTH ELEVATIONS



① (E) EAST ELEVATION
1/4" = 1'-0"



② (P) EAST ELEVATION
1/4" = 1'-0"

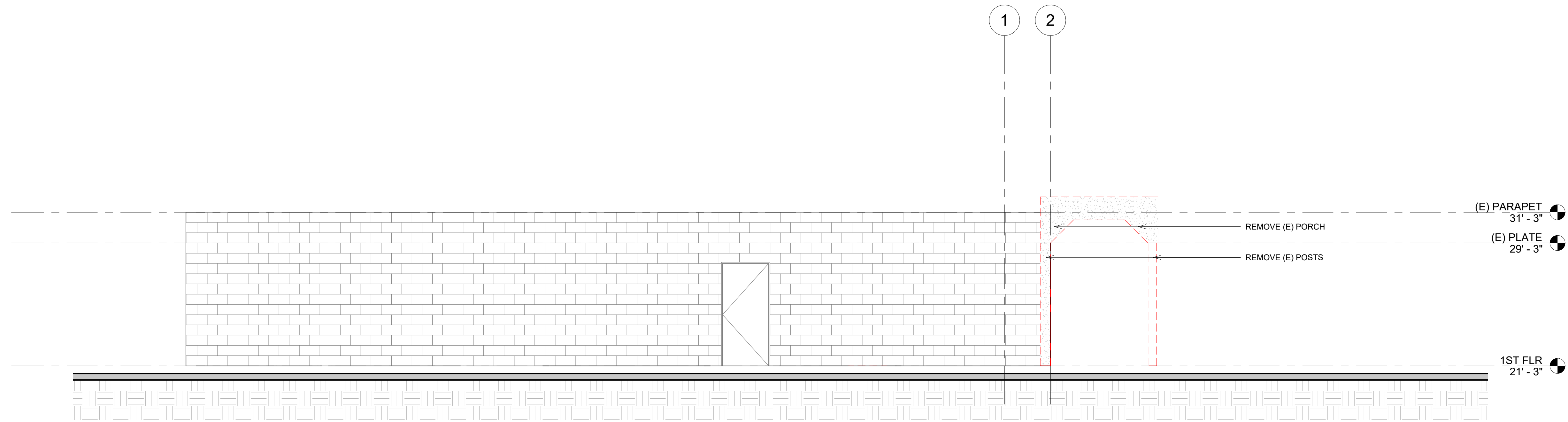
Description	Date
PL. SUB01-REV01	03/15/2024

- Notes
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 - All specifications are listed in Outline specification document.

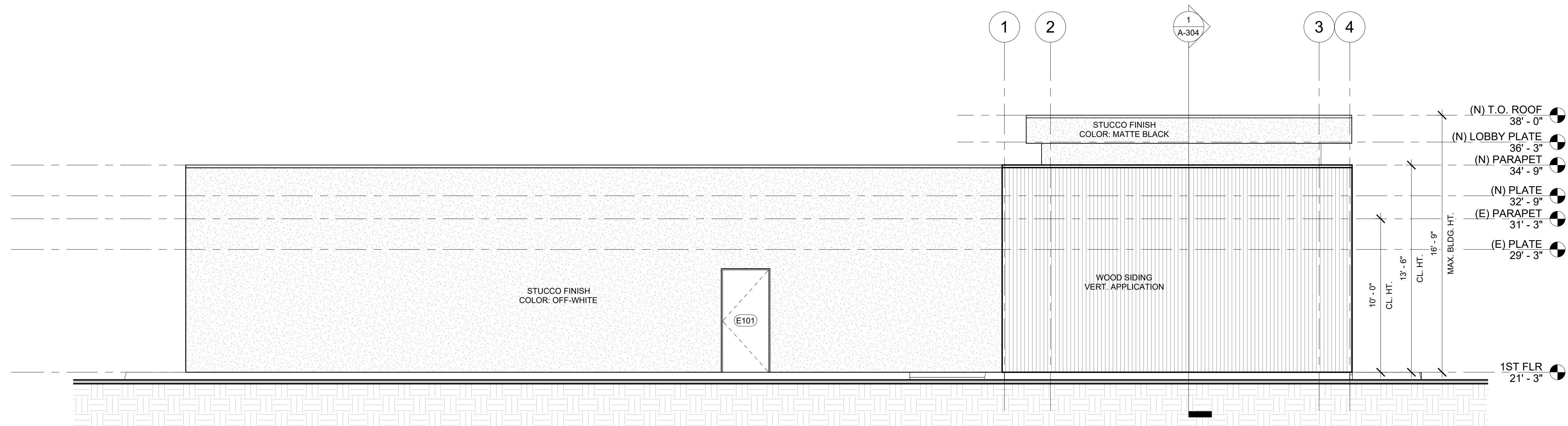
PLANNING PERMIT

- LEGEND
- ◻ WALL TAG
 - # WINDOW TAG
 - # DOOR TAG
 - T TEMPERED TAG
 - OBS OBSCURE TAG
 - # PLAN NOTE

North
(E) & (P) EAST ELEVATIONS



① (E) SOUTH ELEVATION
1/4" = 1'-0"



② (P) SOUTH ELEVATION
1/4" = 1'-0"

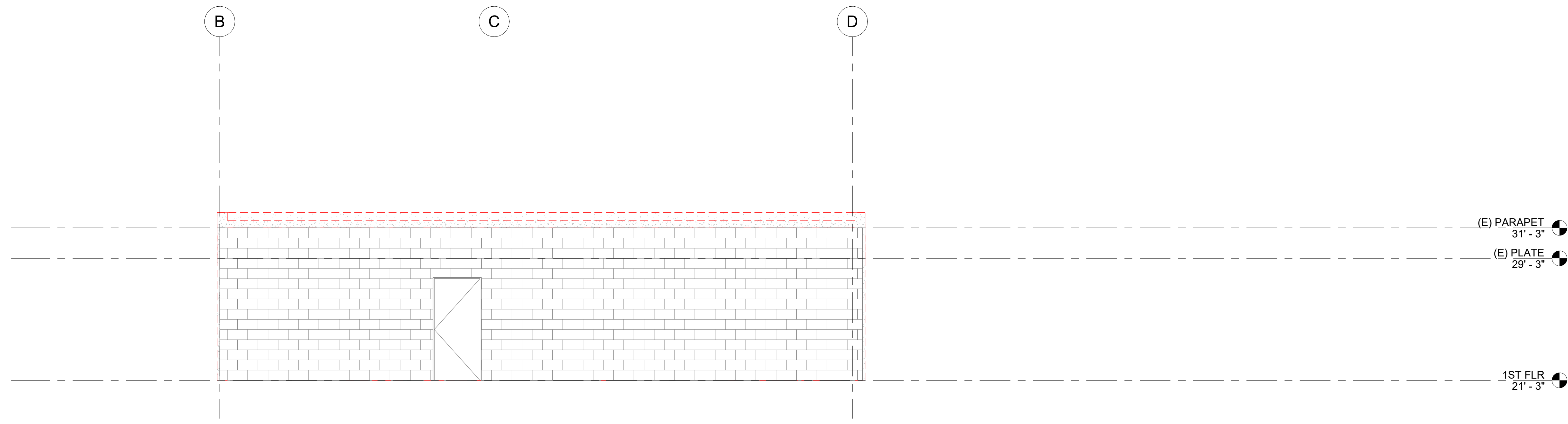
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 - # WINDOW TAG
 - # DOOR TAG
 - T TEMPERED TAG
 - OBS OBSCURE TAG
 - # PLAN NOTE

Description	Date

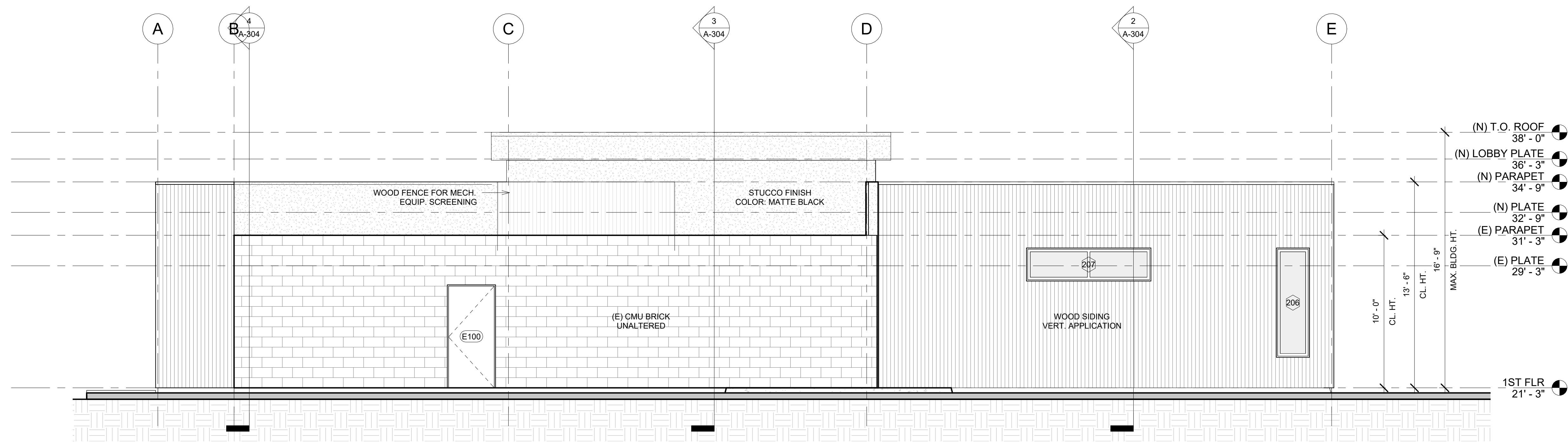
Notes
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2. All specifications are listed in Outline specification document.

PLANNING PERMIT

North
(E) & (P) SOUTH ELEVATION



① (E) WEST ELEVATION
1/4" = 1'-0"



② (P) WEST ELEVATION
1/4" = 1'-0"

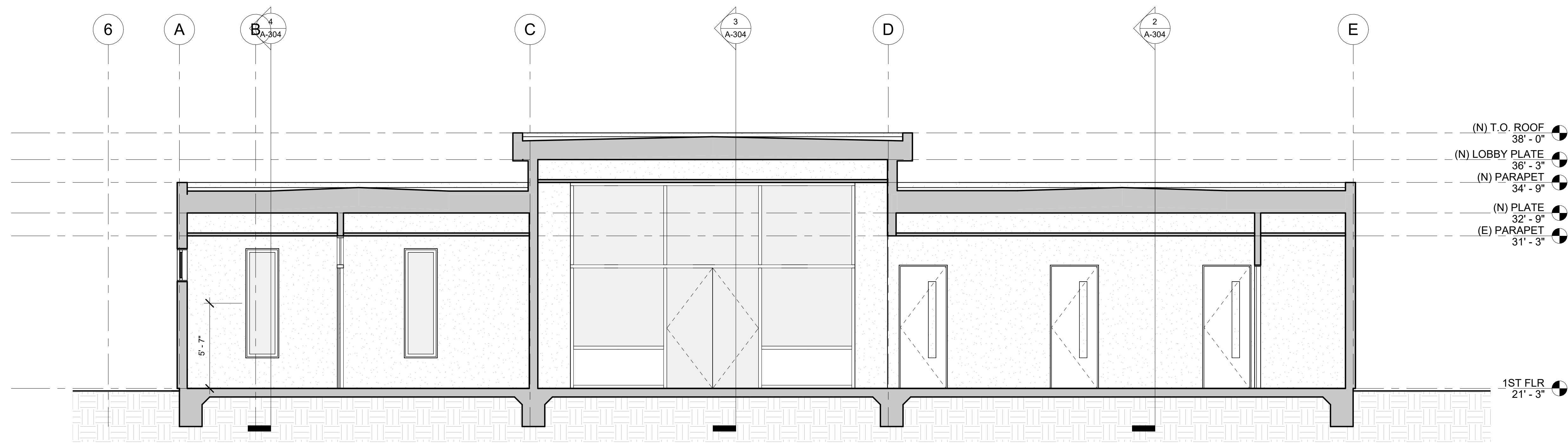
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- ◊ WALL TAG
 - # WINDOW TAG
 - # DOOR TAG
 - T TEMPERED TAG
 - OBS OBSCURE TAG
 - # PLAN NOTE

Description	Date

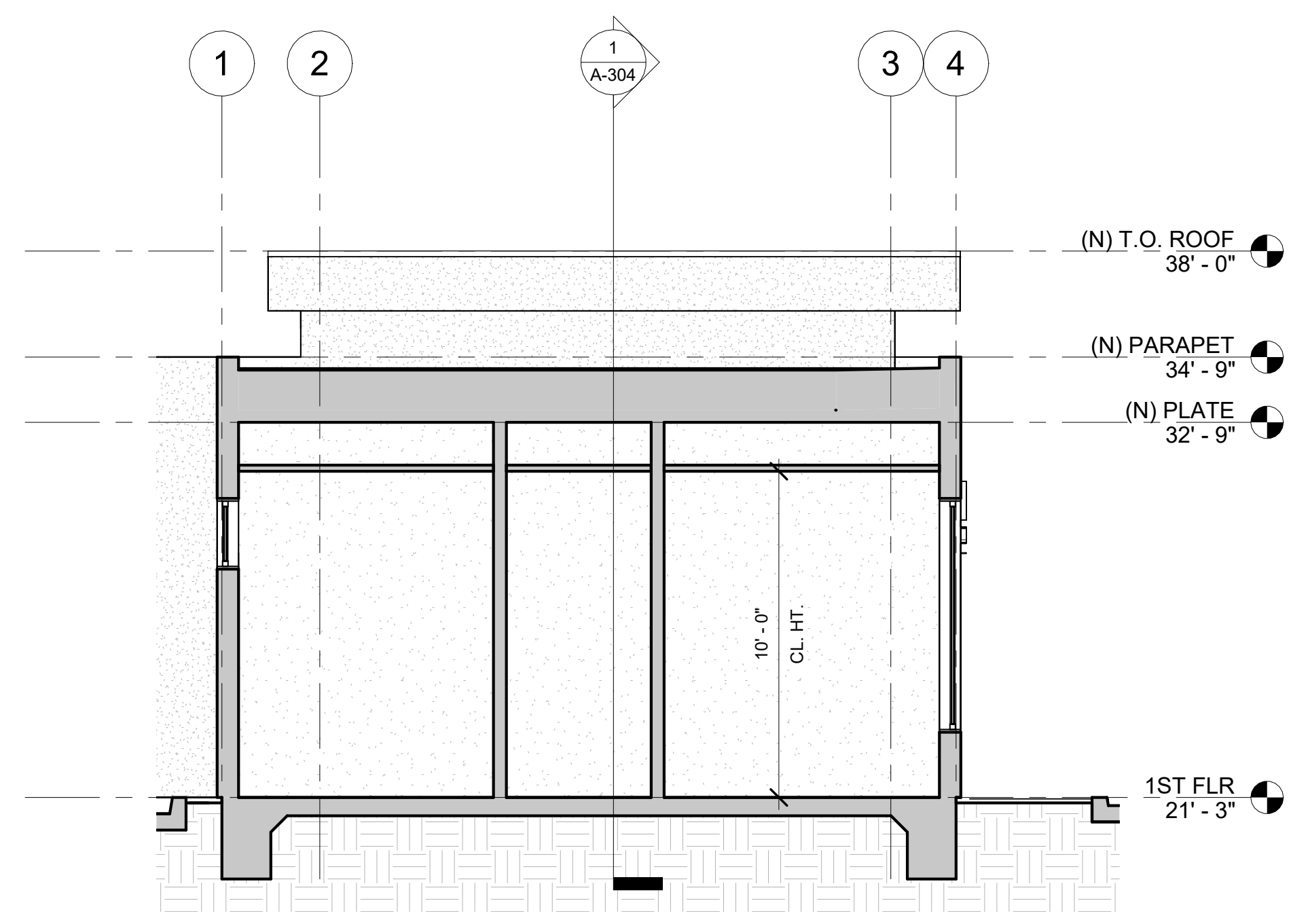
- Notes
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PLANNING PERMIT

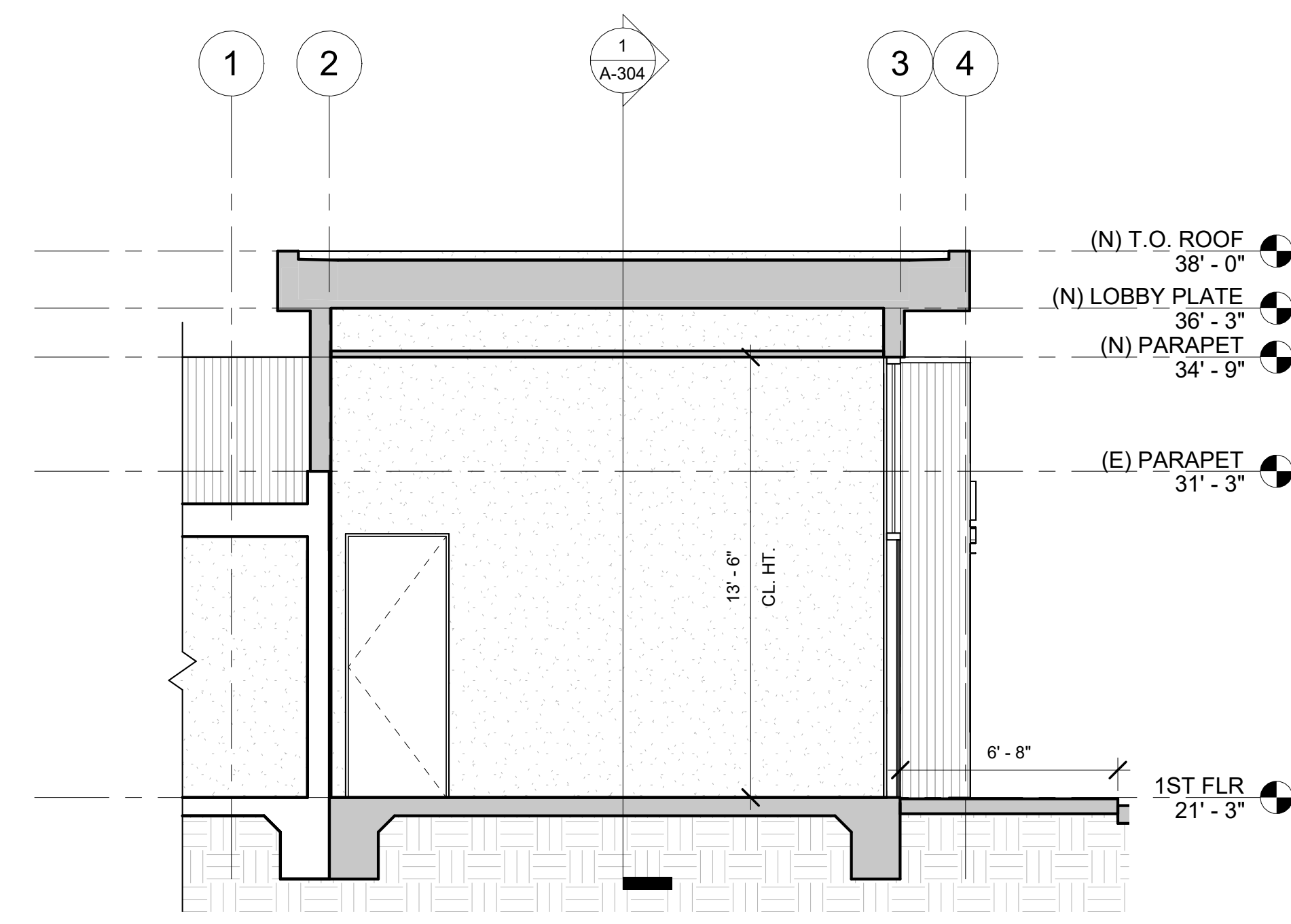
North
(E) & (P) WEST ELEVATION



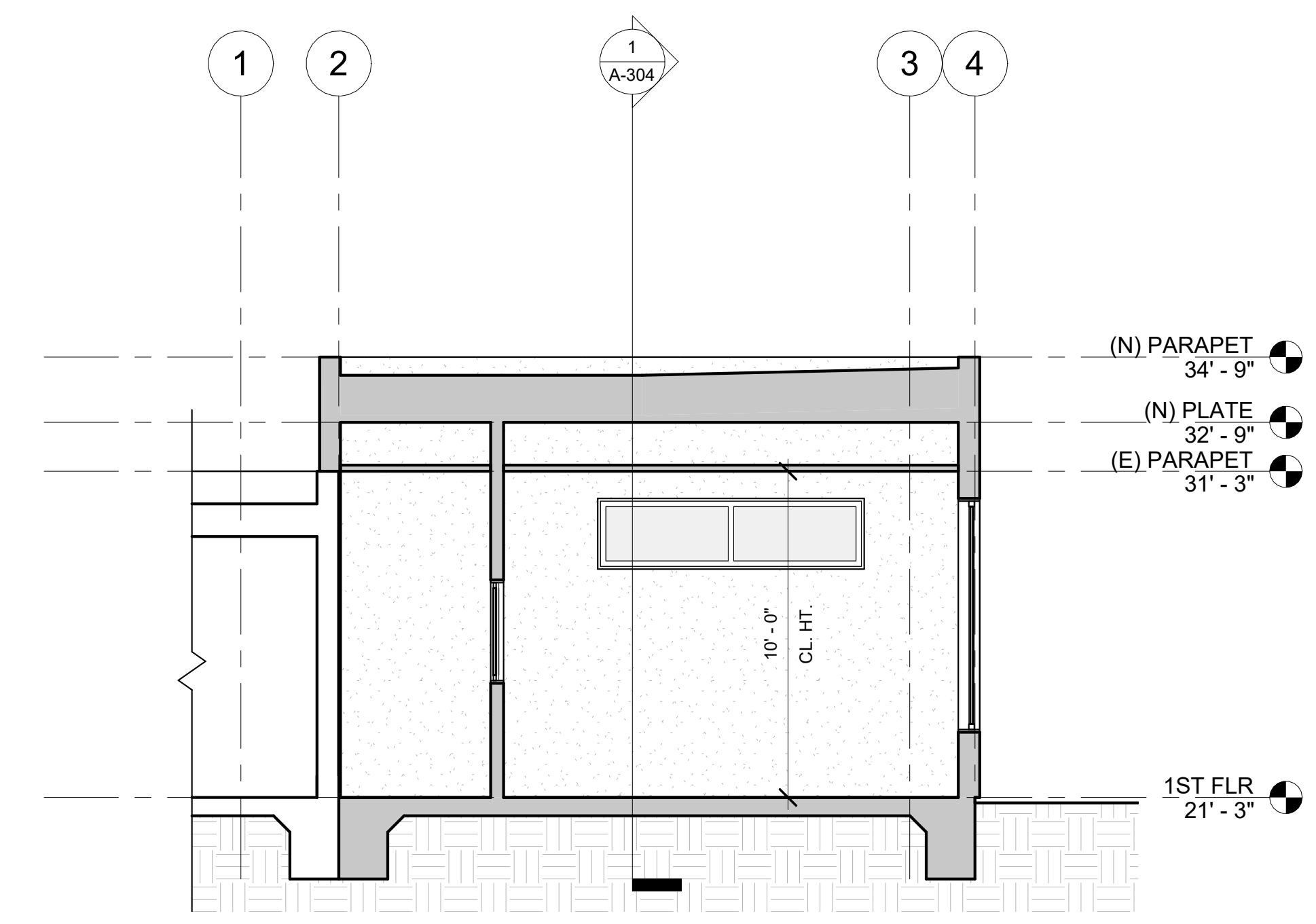
1 SECTION A-A
1/4" = 1'-0"



2 SECTION B-B
1/4" = 1'-0"



3 SECTION C-C
1/4" = 1'-0"



4 SECTION D-D
1/4" = 1'-0"

Description	Date
PL. SUB01-REV01	03/15/2024

- Notes
- All dimensions are shown to F.O. stud unless otherwise noted.
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PLANNING PERMIT

North
(P) A-A & B-B SECTIONS



MA VA

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San Francisco, CA.
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Milpitas, CA 95035

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hydersconstruction@gmail.com
925 241 5743

ANIMAL MEDICAL CLINIC
1405 N. MILPITAS AVE. MILPITAS, CA.

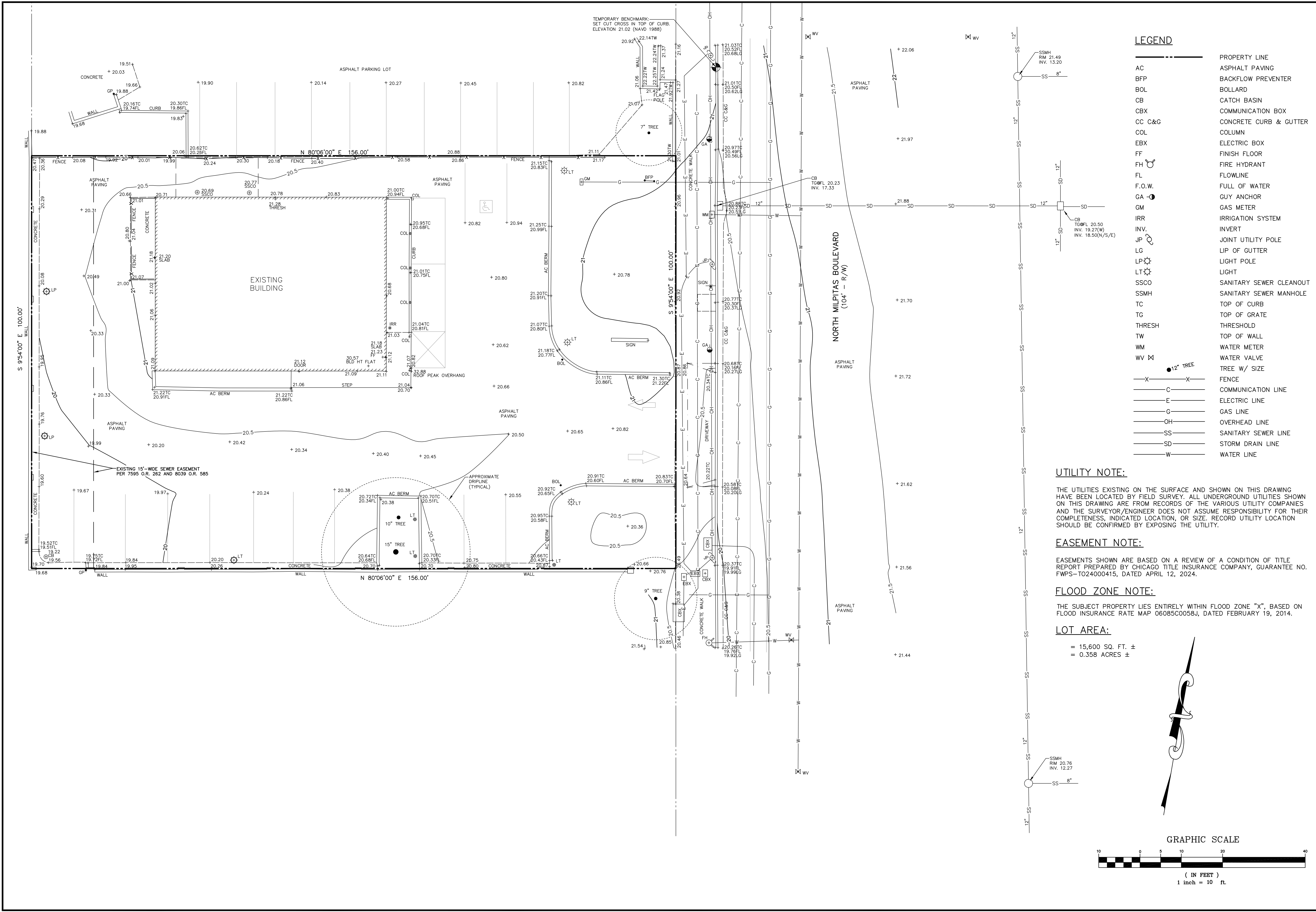
Description	Date
PL. SUB01-REV01	03/15/2024

- Notes
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 - All specifications are listed in Outline specification document.

PLANNING PERMIT

North
PROPOSED RENDERING

A-305



LEGEND

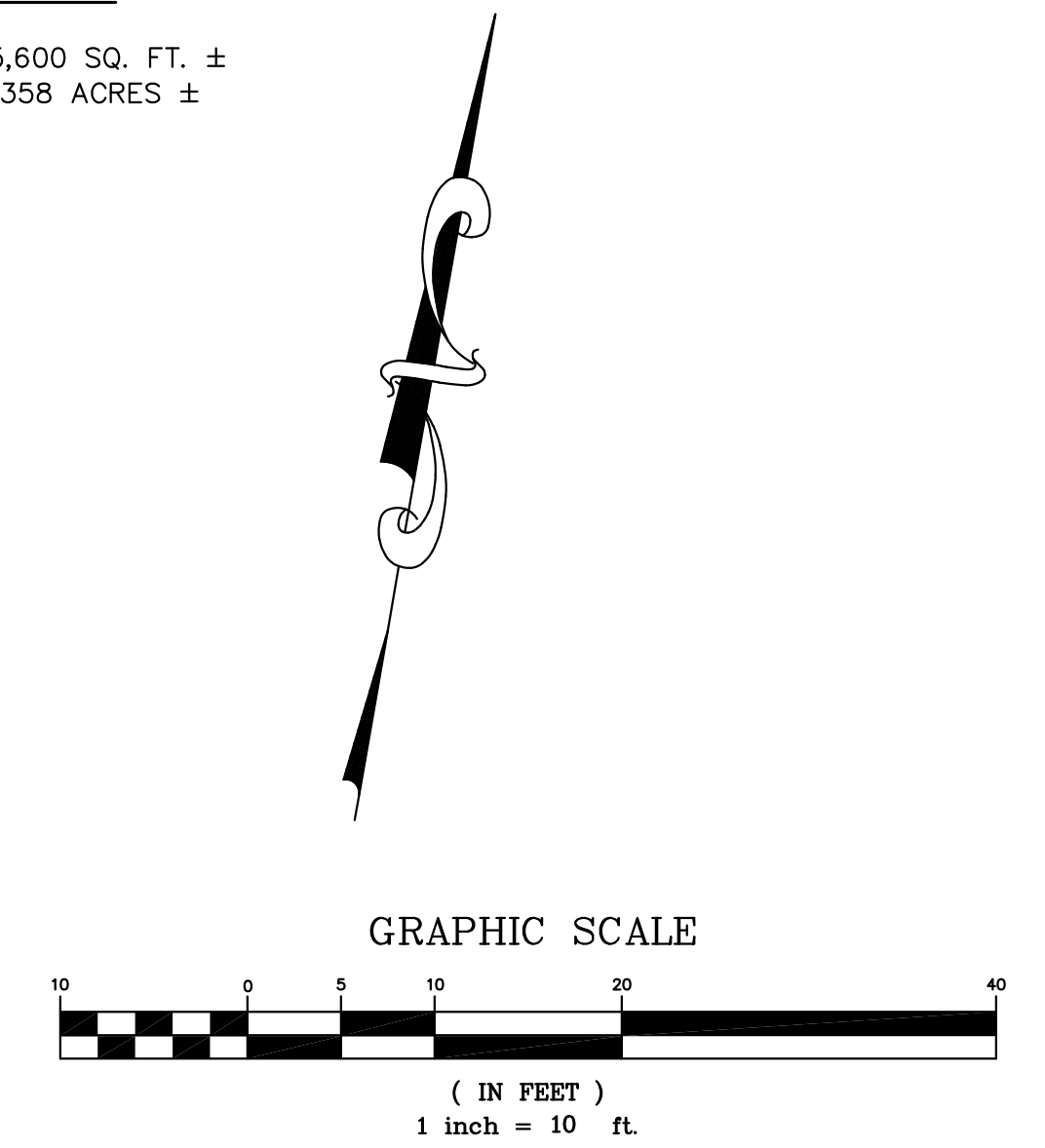
---	PROPERTY LINE
AC	ASPHALT PAVING
BFP	BACKFLOW PREVENTER
BOL	BOLLARD
CB	CATCH BASIN
CBX	COMMUNICATION BOX
CC C&G	CONCRETE CURB & GUTTER
COL	COLUMN
EBX	ELECTRIC BOX
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOWLINE
F.O.W.	FULL OF WATER
GA	GUY ANCHOR
GM	GAS METER
IRR	IRRIGATION SYSTEM
INV.	INVERT
JP	JOINT UTILITY POLE
LG	LIP OF GUTTER
LP	LIGHT POLE
LT	LIGHT
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TG	TOP OF GRATE
THRESH	THRESHOLD
TW	TOP OF WALL
WM	WATER METER
WV	WATER VALVE
●	TREE W/ SIZE
-X-X-	FENCE
-C-	COMMUNICATION LINE
-E-	ELECTRIC LINE
-G-	GAS LINE
-OH-	OVERHEAD LINE
-SS-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-W-	WATER LINE

UTILITY NOTE:
 THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

EASEMENT NOTE:
 EASEMENTS SHOWN ARE BASED ON A REVIEW OF A CONDITION OF TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, GUARANTEE NO. FWPS-T024000415, DATED APRIL 12, 2024.

FLOOD ZONE NOTE:
 THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE "X", BASED ON FLOOD INSURANCE RATE MAP 06085C0058J, DATED FEBRUARY 19, 2014.

LOT AREA:
 = 15,600 SQ. FT. ±
 = 0.358 ACRES ±



DATE:	5/6/24
BY:	
DESCRIPTION:	
REV.	
ADD EASEMENT PER TITLE REPORT	RJD
REV.	

DAINS LAND SURVEYING
 rdains@dainslandsurveying.net
 (650) 743-0851

PREPARED FOR:	DALJIT S. SAINI
TOPOGRAPHIC SURVEY PLAN	
1405 NORTH MILPITAS BOULEVARD	
A.P.N. 022-02-010	
MILPITAS	SANTA CLARA COUNTY CALIFORNIA
DRAWN BY:	RJD
DESIGNED BY:	---
CHECKED BY:	RJD
SCALE:	1"=10'
DATE:	02/22/2024
PROJECT NO.	24-1388
SHEET	1 OF 1