

MEMORANDUM

Planning Department



Date: March 12, 2026
To: Zoning Administrator
From: Sean Manalo, Associate Planner

Subject: **NEW TWO-STORY, SINGLE-FAMILY RESIDENCE– 287 Duarte Ct – Minor Site Development Permit (P-MS25-0262) and Tree Removal Permit (P-TR26-0002):** A Minor Site Development Permit request to demolish an existing 1,247-square-foot single-story, single-family residence and construct a new 2,835-square-foot two-story single-family residence, and remove three (3) Heritage Trees and replace with six (6) trees on a 0.10-acre parcel in the Single Family Residential (R1-6) Zoning District located at 287 Duarte Ct. The project is categorically exempt from further environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) and on a separate and independent basis, Section 15183 (Projects consistent with a Community Plan, General Plan, or Zoning).

Location: 287 Duarte Ct. (APN: 026-17-019)

Zoning/GP: Single-Family Residential (R1-6) Zone / Low Density Residential (LDR)

Application:

On November 10, 2025, Navdeep Bali (the “Applicant”) submitted a Minor Site Development Permit application to request the demolition of the existing 1,247-square-foot single-story single-family residence and construct a new 2,835-square-foot two-story residence on a 0.10-acre lot located at 287 Duarte Ct. (the “Project”).

The construction of new single-family dwellings not located in the “H” Hillside combining district requires a Minor Site Development Permit (MSD) to be reviewed by the Zoning Administrator, as stated per Milpitas Municipal Code (MMC) Section D.4.020. Maps 1 and 2 demonstrate the aerial location and zoning map of the Project site. The subject property is surrounded by residential uses to the north, south, east, and west, as demonstrated in Map 1 (Zoning Map), Map 2 (Aerial Map), and Table 1 (Surrounding Zoning and Land Uses).

Map 1: Zoning Map of 287 Duarte Court



Map 2: Aerial Map of 287 Duarte Court

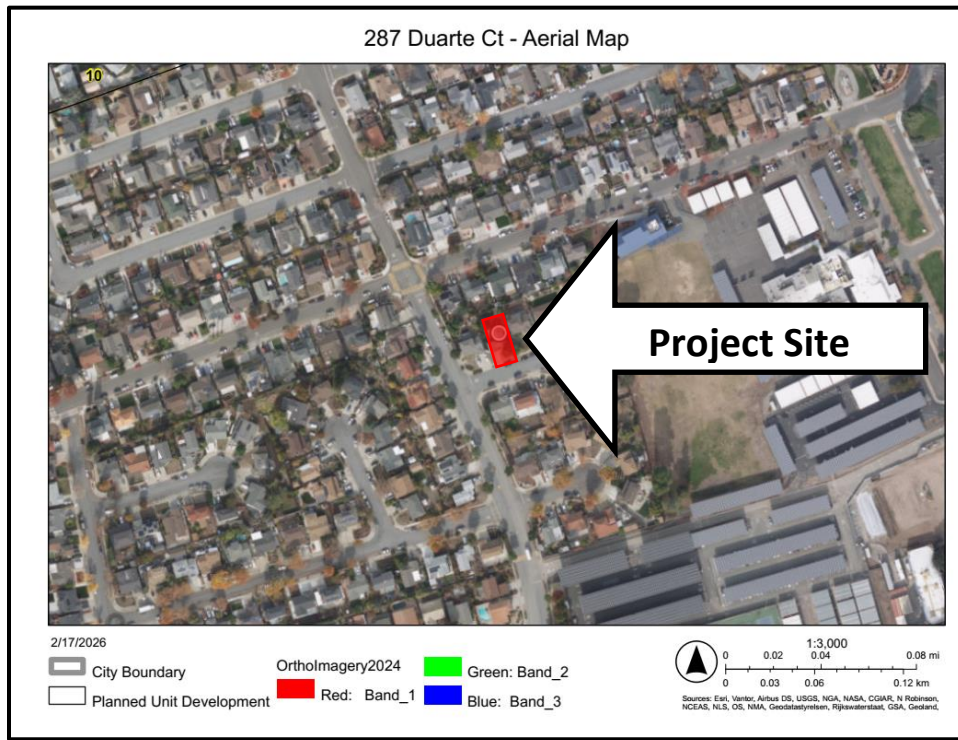


Table 1: Surrounding Zoning and Land Uses

	General Plan	Zone	Uses
Subject Site	Low Density Residential (LDR)	R1-6, Single Family Residential	Single-Family Residence
North	Low Density Residential (LDR)	R1-6, Single Family Residential	Single-Family Residence
South	Low Density Residential (LDR)	R1-6, Single Family Residential	Single-Family Residence
East	Low Density Residential (LDR)	R1-6, Single Family Residential	Single-Family Residence
West	Low Density Residential (LDR)	R1-6, Single Family Residential	Single-Family Residence

Project Details

The existing (previous) 1,247-sq. ft. single-story, single-family residence was primarily comprised of three bedrooms and two bathrooms with a kitchen and living room with an attached 500-sq. ft. two-car garage. The Applicant is requesting a Minor Site Development (MSD) Permit to demolish the existing residence and construct a new two-story residence in its place.

The proposed new two-story residence will increase the living space square footage, and feature an attached two-car garage, living and dining area, kitchen, as well as four and a half bathrooms and four bedrooms (See Attachment B). The master bedroom on the second floor features a bathroom and walk-in closet, as well as a 165-sq ft. covered patio facing Duarte Court. Access to the rear yard will be provided on the first floor at the rear of the main building through the kitchen via a 180-sq.ft. covered patio area. The side yard will be accessed via a side entrance through the garage. The property owner intends to maintain an existing 6-foot-tall wood fence along the side and rear property lines.

The proposed project also identifies three large Heritage-sized trees in the front yard—two pine trees and one fan palm—for removal. According to the Applicant's Tree Removal Memo (Attachment C), these trees qualify as Heritage Trees as each exceeds the 56-inch circumference threshold and thus requires a removal permit under the City's Tree Removal Ordinance (Milpitas Municipal Code Section X-2-7.01[a]). In accordance with the City's ordinance, the Applicant proposes to replace the three removed trees at a 2:1 ratio by planting six 24-inch box trees within the front yard. Each tree will be approximately 10 feet to 14 feet in height, with a minimum diameter of 20 inches. The Applicant describes that the new trees will vary in quantity between Crape Myrtle, Chinese Pistache, and Western Bud varieties. Consistent with Subsection D.2.040(B)(3) of the Zoning Code, projects involving multiple applications may be consolidated for final action and heard by the highest Review Authority required for any of the applications. Here, that review authority is the Zoning Administrator.

Figure 1 shows the existing (previous) residence site plan and floor plan, and Figures 2-4 show the proposed Project's overall site plan and new floor plan. If the Applicant receives approval of this MSD Permit request, the Applicant will be required to subsequently obtain a demolition permit and a building permit to allow for the construction of the proposed Project from the City's Building Department. Additionally, the Applicant may be required to obtain other potential types of permits issued (and inspections) by other reviewing City Departmentsto allow for construction of the Project as listed in the attached Resolution and Conditions of Approval (Attachment A).

Figure 2: Proposed New Site Plan (Sheet A-1.1, Attachment B)

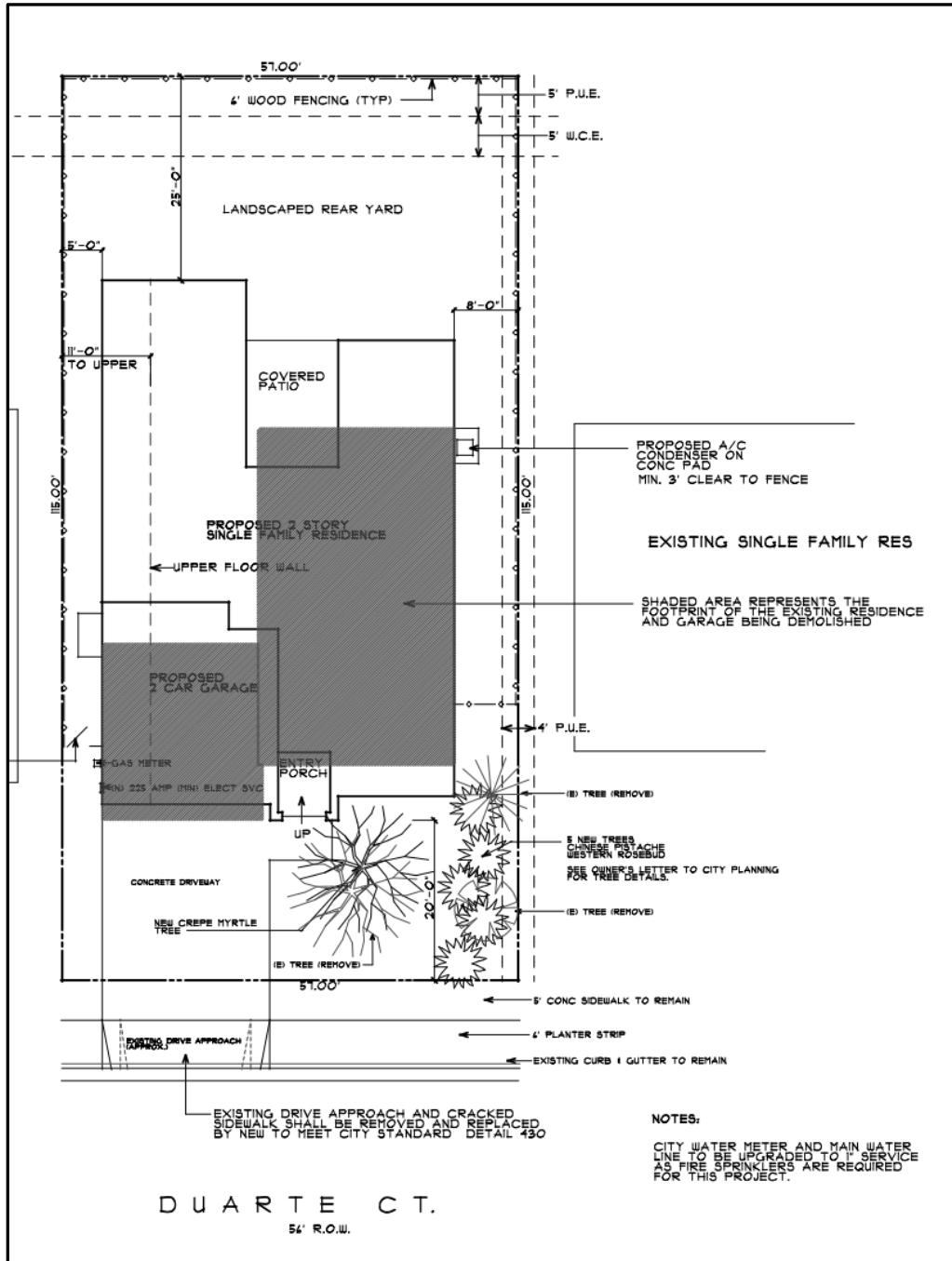
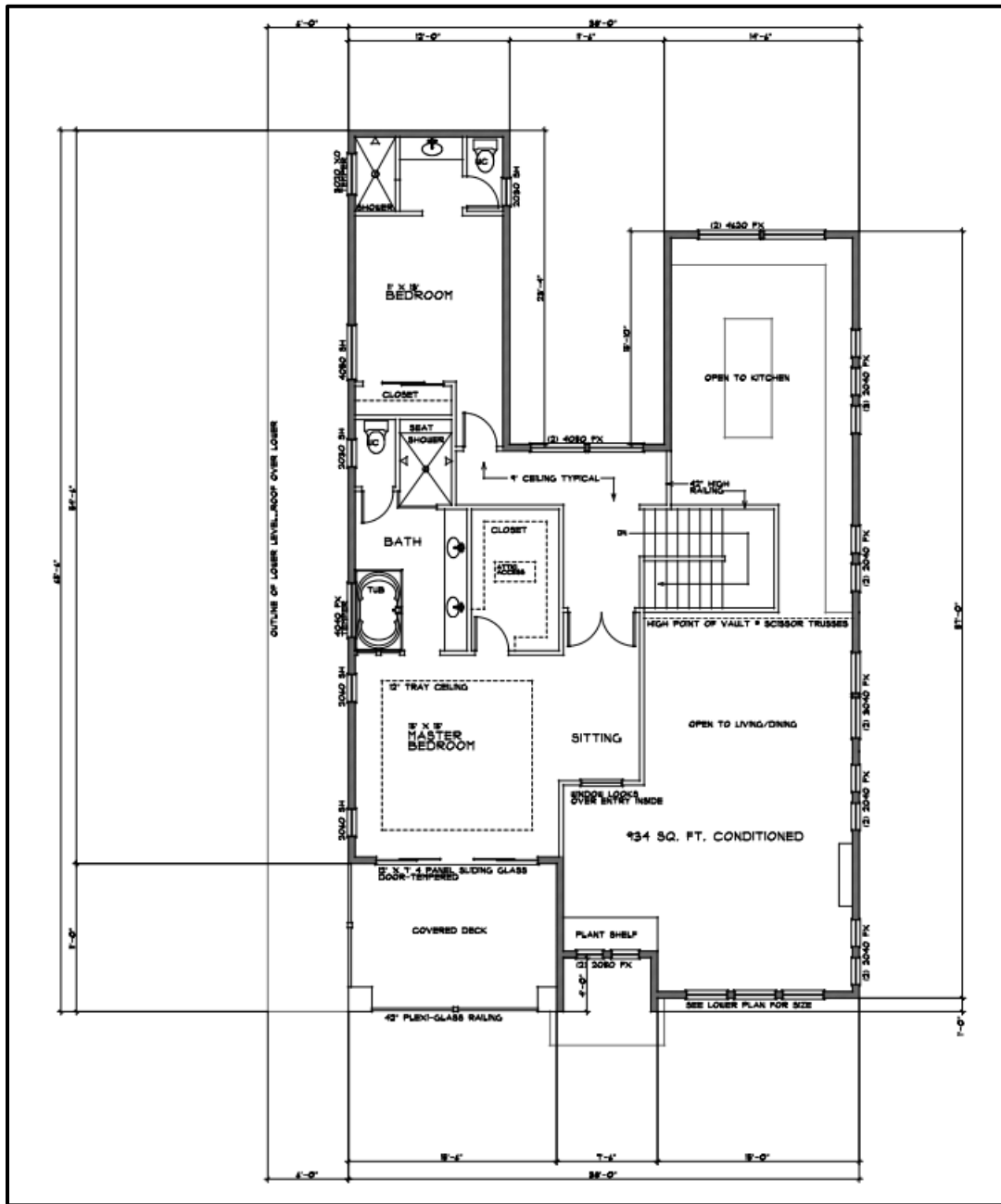


Figure 4: Proposed New Floor Plan, 2nd Floor (Sheet A-2.2 Attachment B)



Project Analysis

The subject site is in the R1 Zoning District. The Project wholly complies with the applicable development standards as shown in Table 2, and does not require any deviations from required standards:

Table 2: R1 Zoning District Development Standards

Standards	Required/Minimum	Existing	Proposed	Complies
Lot Area	6,000 square feet	6,555 square feet.	6,555 square feet. (No Change from Existing)	Yes
Lot Width	55 feet	Appx 57 feet	Appx 57 feet (No Change from Existing)	Yes
Front Setback	20 feet	20 feet	20 feet	Yes
Interior Side Setback	1 side adjacent to garage, minimum 6 feet Total minimum: 13 feet	5-ft adjacent to garage, Total Minimum 13-feet	5-feet adjacent to garage (existing), Total Minimum, 13-feet	Yes
Rear Yard Setback	25 feet	38 feet	25 feet	Yes
Building Height, Max	30 feet	13 feet	29 feet, 3.5 inches (Two Story)	Yes
Front Yard Coverage	Not to exceed the width of the garage, or 50% of the lot width	Does not exceed width of garage	Does not exceed width of garage, (includes, new 5-feet, 6 inches front walkway)	Yes
Parking, Min.	3 per unit	4 spaces (2 Covered, 2 Outdoor)	4 spaces (2 Covered, 2 Outdoor)	Yes

As proposed, the Project is consistent with the purpose and intent of the Single-Family Residential (R1) Zoning District, which is intended for a *“single-family residential development, including clustered residences, and to stabilize and protect the residential character of these neighborhoods within the community”*

Parking:

The proposed Project’s 2,835-square feet would require three parking spaces as reflected in Table C.6.050-A. The property will maintain a two-car garage (covered parking) and driveway that can safely accommodate at least two additional vehicles for a total of four parking spaces. Therefore, the site will remain compliant with the parking standards established under Section C.6.050.

Single-Family Dwelling Standards

Section C.10.210 of the MMC also establishes standards applicable to newly constructed single-family dwellings. As proposed, the Project also complies with these additional standards as shown in Table 3, and does not require any deviations from required standards:

Table 3: Single-Family Development Standards

Standards	Required/Minimum	Proposed	Complies
Limits on Blank Walls	No wall on any level except for garages may run in a continuous plane of more than 20-feet without a window or projection, offset, or recess	No wall runs in a continuous plane of more than 20-feet without a window or projection, offset, or recess	Yes
Entrances, Orientation	Primary entrance of any single-family dwelling located along public rights-of-way must be at least partially visible from the public street.	Primary Entrance is visible to public-facing street (Duarte Ct.), Interior Lot	Yes
Entrances, Protection	Primary entry must incorporate a projection, recess or combination at least 14 square feet in area, with a minimum depth of 3.5 feet	Appx: 40 square feet entry porch, and appx; 8 feet entry porch depth	Yes
Privacy	Second story windows that are 5 feet or less from an interior side property line or 15 feet or less from a rear property line shall protect privacy between neighbors.	Second Story windows facing the adjacent neighbor at 275 Duarte Ct.do not provide direct line of sight to any second story windows.	Yes

<p>Street-Facing Façade Design</p>	<p>All street-facing building facades must be designed at an equivalent design level to the primary façade in level of detail, quality of materials, and color scheme</p>	<p>Single street-facing building facades is designed at an equivalent design level to the primary façade in level of detail, quality of materials, and color scheme</p>	<p>Yes</p>
<p>Building Materials</p>	<p>Exterior timber must be protected from decay by stain and sealant Exterior ferrous metals must be protected from corrosion Plywood, corrugated metal, sheet metal and unfinished aluminum are prohibited</p>	<p>Exterior materials include smooth stucco acrylic finish.</p>	<p>Yes</p>

Architecture, Colors, and Materials

The Applicant has designed the Project with a Transitional Modern architectural style which clean lines, minimal ornamentation, smooth stucco exteriors, and simple geometric forms. Elements of Transitional Modern architecture may include neutral color palettes, large windows emphasizing natural light, open-concept floor plans, and modern fixtures/hardware.

The front façade of the Project will include exterior stucco walls to be painted glacier white with dark grey accents. The proposed shingle roofing will be similar to the roof of the existing residence and proposes charcoal black composite shingle roofing. The window and glass door frames will have metal black window trims. While the plexiglass railings on the second story balcony provide a modern feature, the proposed building maintains most trim elements simple to blend with the surrounding neighborhood.

A defining feature of the proposed construction is the mix of roof pitches, combining a sloping hipped roof of 4:12 pitch with a dominant large roof area that slopes front to rear with a 6:12 pitch. A 6:12 roof pitch is a common residential pitch that offers an ideal balance of durability and functionality as it allows rain to shed quickly and reduces the risk of leaks and structural strain to the building. This feature also allows increased interior headroom to the main building for the central stairway as it intersects the ceiling of the upper floor.

Overall, the proposed new main house maintains a familiar visual character with a style, proportions, orientation, and a color palette consistent with nearby homes and buildings in the immediate area. Figure 6 shows the existing front façade of the residence and Figures 7 and 8 show the proposed Project's colored renderings of the remodeled and expanded residence, including a colors and materials description. (See Attachment D)

Figure 6: Previous Front Façade of 287 Duarte Ct.



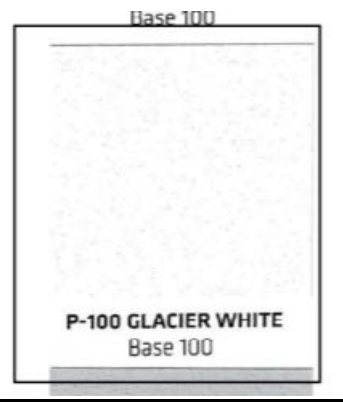
Figure 7: Proposed Front Façade Rendering (North Elevation) (Attachment B)



Figure 8: Colors/Materials Description

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Neighborhood Compatibility and Privacy

Figure 9 demonstrates that the proposed Project will be compatible to other homes in the immediate vicinity that have a light neutral painted stucco façade with front facing garages and a grayscale roof shingle color.

The Applicant has provided a project narrative explaining the project and the architectural features of the project (See Attachment E). Single-family residences in the surrounding area are predominantly Ranch style, with low rooflines, muted earth tone colors, prominent front-facing garages, and exterior walls finished with stucco, brick and/or stone. Adjacent properties, however, have adopted more contemporary designs consistent with Transitional Modern architecture including but not limited to second stories, mixed materials, oversized and asymmetrical windows, and clean lines. While the proposed project offers a more modern architectural style than immediately adjacent homes, the proposed residence is not considered inconsistent with a unique or definitive architectural style or neighborhood plan and will not obstruct views or adversely impact the privacy of adjacent neighbors.

Furthermore, the subject new residence, as proposed, maintains appropriate setbacks from property lines and neighboring parcels, thereby maintaining a sense of openness and preserving the low-density, single-family character of the neighborhood. The plans also describe that six-foot-tall privacy fencing will be maintained along the side and rear perimeters of the property adjacent to neighbors to the north and west. The Applicant has also provided a summary of neighborhood outreach that they conducted explaining the project and highlighting any concerns they received related to neighborhood compatibility, privacy, and construction impacts (See Attachment F). The neighboring properties did not identify any immediate concerns with the project. .

All new windows will be installed with window shades/blinds as detailed in the elevations of the proposed plans with a window and door schedule. Figures 10 through 12 provide elevations of the proposed project.

Figure 11: Proposed Project East (Side) Elevation (Attachment B)



Figure 12: Proposed Project South (Rear) Elevation (Attachment B)



California Environmental Quality Act (CEQA):

The Project is categorically exempt from environmental review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (New construction or conversion of small structures), and, as a separate and independent basis, Section 15183 (Projects Consistent with a Community Plan, General Plan, or

Zoning). The Project involves the demolition of the existing residence and proposes the construction of new two-story, single-family residence with an expanded ground floor and the removal of heritage sized trees, and their replacements that meets or exceeds all of the objective design standards of the R1 zoning district, as well as the new single-family dwelling standards established in MMC Section C.10.210.

Findings for Approval:

In accordance with Section D.4.020-F of the City’s Zoning Ordinance, the Zoning Administrator (Review Authority) may consider and approve a Minor Site Development if the required findings can be made. Findings shall identify the rationale behind the decision to take a certain action and are analyzed below:

1. The proposed project is consistent with this Title

This finding can be met. The Project involves the demolition of the existing residence and the construction of a new two-story single-family residence that will meet all R1 zoning district development standard requirements related to parking, building height, setbacks, and other standards. The site is surrounded with one- and two-story similar sized single-family residences. The Project’s contemporary design with earthtone colors and materials respects the suburban feel of the area and supports the residential characteristics of the R1 zoning district. The architectural style will be designed similarly to neighboring properties maintaining a Transitional Modern style and design.

2. The proposed use and project are consistent with the goals and policies of the General Plan

This finding can be met. Community Design Policy 3.5 of the General Plan intends to ensure that new residential development and substantial additions are designed to maintain and support the existing character and development pattern of the surrounding neighborhood, especially in historic neighborhoods and neighborhoods with consistent design characteristics. Furthermore, C.10.210 of the Milpitas Zoning Ordinance provides standards for new single-family residential development to supplement regulations described in MMC Section B.4.030 which provides regulations and development standards associated with location, size, height, and other details for residential development.

The project complies with the standards described in the Milpitas Zoning Ordinance and therefore, maintains the character and development pattern of the existing residential neighborhood. The project will be permitted and deemed consistent with the objectives of the General Plan and this Title upon approval of a Minor Site Development permit.

3. *The project will not be detrimental to public health, safety, and general welfare*

This finding can be met. Applicable life and safety codes shall be applied and implemented through the future building permit process with review by all relevant City departments.

4. *And, the proposed project is in compliance with the provisions of the California Environmental Quality Act (CEQA).*

This finding can be met. The Project involves the demolition of the existing residence and proposes the construction of new two-story, single-family residence with an expanded ground floor that meets or exceeds all of the objective design standards of the R1 zoning district. The Project complies with the California Environmental Quality Act (CEQA) and is categorically exempt pursuant to CEQA Guidelines Section 15303 (New construction or conversion of small structures), and, as a separate and independent basis, Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning).

Recommendation:

Staff recommends that the Zoning Administrator open and close the public hearing, consider the exemption from environmental review under CEQA, and approve Minor Site Development Permit No. P-MS25-0262 and Tree Removal Permit P-TR26-0002 to demolish the existing single-family residence and construct a new 2,835-square-foot two-story, single-family residence and remove three (3) heritage sized trees and replace with six (6) new trees at 287 Duarte Ct. subject to the findings outlined in this report and the attached Conditions of Approval.

Attachments:

- A. Conditions of Approval Letter
- B. Project Plans
- C. Tree Removal Memo
- D. Materials Description
- E. Applicant Narrative/ Project Description
- F. Neighborhood Outreach Letter Summary

ATTACHMENT A

MINOR SITE DEVELOPMENT PERMIT NO. MS25-0262 and TREE REMOVAL PERMIT NO. TR26-0002 287 DUARTE COURT (APN 026-17-019))

The City of Milpitas Zoning Administrator approves Minor Site Development Permit No. MS25-0262 and TR26-0002 in accordance with Section D.4.020. of the Zoning Ordinance Update of the Milpitas Municipal Code, subject to and conditioned upon all applicable State and local laws and regulations and the Conditions of Approval outlined below. This Minor Site Development Permit entitlement is to allow the issuance of building permits for the proposed development of a 2,835-square foot, two-story single-family residence and the removal of three (3) heritage sized trees to be replaced with the installation of 6 new trees ("Project") on a 0.10-acre lot located within the Single-Family (R1-6) Residential Zoning District at 287 Duarte Ct (APN: 026-17-019), subject to all necessary reviews, approvals, studies, and inspections for the issuance of such building permits.

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS OF APPROVAL:

General Conditions of Approval:

1. General Compliance. The applicant, including all successors in interest (collectively "Permittee") shall comply with each and every condition set forth in this Permit. This Minor Site Development Permit No. MS25-0262 and Tree Removal Permit No. TR26-0002 ("Permit") shall have no force or effect and no building permit shall be issued unless and until all things required by the below-enumerated precedent conditions have been performed or caused to be performed. **(P)**
2. Effective Date. Unless there is a timely appeal filed in accordance with the Milpitas Zoning Code, the date of approval of this Permit is the date on which the decision-making body approved this Permit. **(P)**
3. Acceptance of Permit. Should Permittee fail to file a timely appeal within twelve (12) calendar days of the date of approval of this Permit, inaction by Permittee shall be deemed to constitute each of the following: **(P)**
 - i. Acceptance of this Permit by Permittee; and
 - ii. Agreement by the Permittee to be bound by, comply with, and to do all things required of or by Permittee pursuant to all the terms, obligations, and conditions of this Permit.
4. Permit Expiration. Pursuant to Section D.2.04-K.1 of the Milpitas Zoning Code, this Permit shall become null and void if the activity permitted by this Permit is not commenced within two (2) years from the date of approval, or for a project submitted with a tentative map, within the time limits of the approved tentative map. Pursuant to Section D.2.04-K.3 of the Milpitas Zoning Code, an activity permitted by this Permit shall be deemed to have commenced when the project: **(P)**

- i. Completes a foundation associated with the project; or
 - ii. Dedicates any land or easement as required from the zoning action; or
 - iii. Complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.
5. Time Extension. Pursuant to Section D.2.04-L of the Milpitas Zoning Code, unless otherwise provided by State law, Permittee shall have the right to request a one-time extension of the Permit if the request is made in writing to the Planning Division prior to the expiration date of the approval. **(P)**
 6. Notice. Pursuant to California Government Code Section 66020, any protest filed in court relating to the imposition of fees, dedication, reservations, or other exactions to be imposed on the development project shall be filed within ninety (90) days after the date of the approval of this Permit. This provision serves as notice from the local agency to the Permittee that the ninety (90) day period in which the applicant may file a protest has begun under California Government Code Section 66020(d)(1). **(CA)**
 7. Cost and Approval. Permittee shall fully complete and satisfy each and every condition set forth in this Permit and any other condition applicable to the project to the sole satisfaction of the City. Additionally, Permittee shall be solely responsible and liable for the cost to satisfy each and every condition. Permittee shall pay all required fees and charges to the City at the rate in effect at time of building permit issuance, or, the rate in effect when the fees and charges are due and paid in full to the City. There is no vesting of any fees or charges with the approval of this Permit. **(P)**
 8. Conditions. Each and every condition set forth in this Exhibit shall apply to the project and continue to apply to the project so long as the Permittee is operating the project under the permits and approvals in this Permit. **(P)**
 9. Compliance with Laws. The construction, use, and all related activity authorized under this Permit shall comply with all applicable local, state, and federal laws, rules, regulations, guidelines, requirements, and policies. **(CA/P)**
 10. Previous Approvals. Permittee shall abide and continue to comply with all previous City approvals, permits, or requirements relating to the subject property, unless explicitly superseded or revised by this Permit. **(P)**
 11. Indemnification. To the fullest extent permitted by law, Permittee shall indemnify, defend with counsel of the City's choosing, and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to (i) City's approval of the project, including but not limited to, the approval of the discretionary permits, maps under the Subdivision Map Act, and/or the City's related determinations or actions under the California Environmental Quality Act, and (ii) Permittee's construction, operation, use, or related activity under

this Permit. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. Permittee shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. Permittee shall pay to the City upon demand or, as applicable, to counsel of City's choosing, any amount owed pursuant to the indemnification requirements prescribed in this condition. **(CA)**

12. Written Response to Conditions. The Permittee shall provide a written response to the Conditions of Approval indicating how each condition has been addressed with the building permit application submittal. **(ALL)**
13. Revocation, Suspension, Modification. This Permit may be suspended, revoked, or modified in accordance with Section D.2.040-J-3 of the Milpitas Zoning Code. **(P)**
14. Severability. If any term, provision, or condition of this Permit is held to be illegal or unenforceable by the Court, such term, provision, or condition shall be severed and shall be inoperative, and the remainder of this Permit shall remain operative, binding, and fully enforceable. **(CA)**
15. Permittee shall develop the approved project in conformance with the approved plans (date stamped March 12, 2026), approved by the Zoning Administrator in accordance with these Conditions of Approval. **(P)**

Any deviation from the approved site plan, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the Permittee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the owner or designee shall be required to apply for review and obtain approval of the Zoning Administrator or City Council, as applicable, in accordance with the Milpitas Zoning Code. **(P)**

16. Tree Removal: Prior to any tree removal authorized under this approval, the applicant shall obtain all necessary permissions, clearances, and inspections from the Public Works Department specifically for any Heritage Trees affected by the project. This requirement ensures compliance with municipal codes governing tree preservation and removal. No work impacting the trees may proceed until written confirmation of approval is provided by the Planning Department.

17. Fire Department

The project/development shall comply with the requirements of the Fire Department and the California Fire Code. **(F)**

17. Building Department

The project/development shall comply with the requirements of the Building Department and the International Building Code. **(B)**

18. Engineering

The project/development shall comply with the requirements of the Engineering Division and as may be amended by the City of Milpitas. **(LD)**

- a. Modifications: The Minor Site Development Plan dated November 6, 2025 is subject to change during the plan check stage based upon City's previous comments and conditions stated herein.
- b. Submittal Requirements: Permittee to ensure that all plan check submittals are in accordance with City's submittal check list for each permit type, including but not limited to, payment of permit fees and/or fee deposit at the time of the submittal.
- c. Public Improvement Design Standards: All public improvements shall be designed and constructed in accordance with all applicable public improvement design standards, including but not limited to:
 - a. Milpitas Design Guidelines:
(<http://www.ci.milpitas.ca.gov/milpitas/departments/engineering/design-guidelines/>);
 - b. Standard details and specifications:
(<http://www.ci.milpitas.ca.gov/milpitas/departments/engineering/standard-details-and-specifications/>); and
 - c. Americans with Disabilities Act (ADA) requirements, where applicable.

PRIOR TO ENCROACHMENT PERMIT ISSUANCE

*The following conditions shall be met **prior to** encroachment permit issuance, unless otherwise approved by the Director of Engineering/City Engineer. **(E)***

- a. Domestic Water and Fire Service Calculations: Permittee shall submit potable water and fire service calculations to confirm adequacy of lateral size, pressure and flow, to be reviewed and approved by the Engineering Department and Fire Department. Hydraulic modeling analysis by the City and paid by the Permittee may be required as needed. Permittee shall be responsible to implement any necessary improvements if there is any identified deficiency to the existing main as a result of the project.
- b. Specific Improvements: In addition to standard public improvements required under Milpitas Municipal Code (MMC) Title XI, Chapter 1, Section 7, Permittee shall install other specific improvements listed below including incidental improvements as required by the City as part of the encroachment permit.
- c. Abandonment of the existing water service lateral at its tapping point at the City water main and installation of a new water service lateral and water meter if fire sprinkler flow calculations determine that the existing water service and meter size does not provide adequate flow capacity for the reconstructed residence's required fire sprinklers.

- d. Abandonment of Existing City Utilities: Permittee shall cap, abandon or remove any unused existing public utilities based upon City's Abandonment Notes and to the City's satisfaction.
- e. Water Service Agreement: Permittee shall complete a water service agreement to obtain water service.
- f. Encroachment Permit: Prior to any work in the public right-of-way and/or public easement, obtain an encroachment permit with insurance requirements for all public improvements including a traffic control plan per the latest California Manual on Uniform Traffic Control Devices (MUTCD) standards to be reviewed and approved by the Engineering Department.

PRIOR TO BUILDING PERMIT ISSUANCE

*The following conditions shall be addressed during the building plan check process and shall be met **prior to** any building permit issuance (except demolition permit and rough grade permit), unless otherwise approved by the Director of Engineering/City Engineer. (E)*

- a. Easements on the Building Permit Plans: Permittee shall depict all existing easements to remain based upon current preliminary title report and depict new easements on applicable building permit plans.

DURING CONSTRUCTION

*The following conditions shall be complied with at all times **during** the construction phase of the project, unless otherwise approved by the Director of Engineering/City Engineer. (E)*

- b. Dewatering: If dewatering is needed during construction, Permittee shall obtain a Short-Term Industrial Wastewater Permit from the San Jose/Santa Clara Water Pollution Control Plant for discharging the groundwater to a sanitary sewer system.
- c. Prohibition of Potable Water Usage: Permittee shall use recycled water for construction purposes, including dust control and compaction. Permittee shall comply with MMC VIII-6-5.00 and 6-6.00 where potable water usage is prohibited, unless otherwise approved by the City Council.

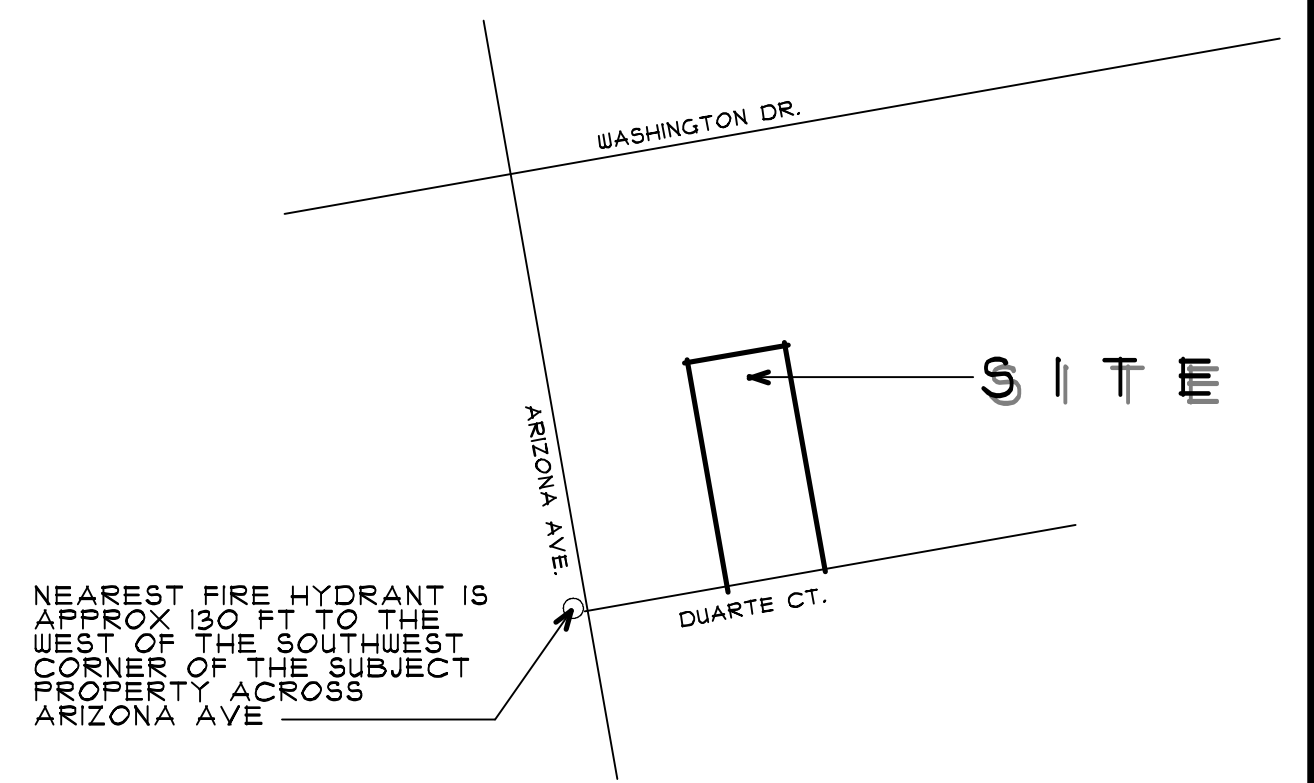
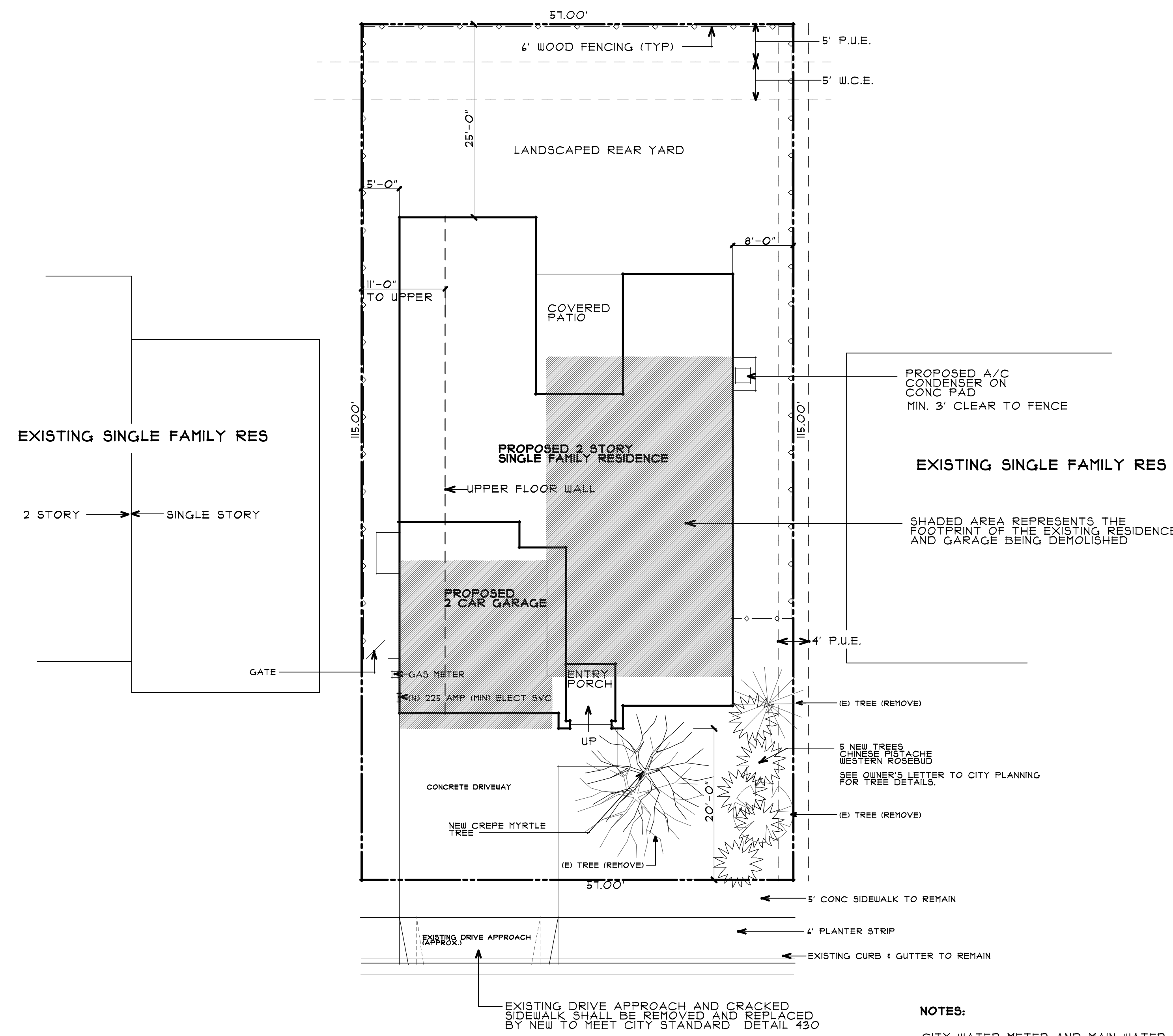
PRIOR TO FIRST OCCUPANCY

*The following conditions shall be met **prior to** first building occupancy on either lot, unless otherwise approved the Director of Engineering/City Engineer.*

- a. Completion of Public Improvements: Permittee shall complete all public improvements, including but not limited to the replacement of the property's existing water service and meter if required per fire sprinkler flow calculations, as shown on City approved plans.
- b. FEMA Substantial Improvement

The project/development is considered a "substantial improvement," as defined by the Federal Emergency Management Agency (FEMA). The project triggers FEMA Substantial Improvement requirements due to its scope. The project shall meet all FEMA Substantial Improvement Guidelines, as determined by the City of Milpitas Land Development Department, prior to Building Permit Issuance. (LD)

(P) = Planning
(F) = Fire Prevention
(B) = Building
(LD) = Land Development
(CA) = City Attorney



VICINITY MAP

- NON-STRUCTURAL SHEETS**
- A1.1 SITE, DATA, VICINITY
 - A2.0 EXISTING SITE/DEMO PLAN
 - A2.1 LOWER FLOOR PLAN
 - A2.2 UPPER FLOOR PLAN
 - A3.1 BUILDING ELEVATIONS
 - A3.2 BUILDING ELEVATIONS

SHEET INDEX

DESIGNER/PLANS: CALIFORNIA AT HOME
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JAMEY WYLIE (S4944)
2813 COFFEE RD. STE D1
MODESTO, CA. 95355
209-515-9619
JAMEY@PWFE-ENG.COM

TITLE-24: OPTIMIZED ENERGY
5134 LONETREE BLVD.
ROCKLIN, CA. 95745
916-626-5518 (PHONE)
916-303-4311 (FAX)
JCG@OEFCEINC.COM

SCOPE OF WORK: NEW 2 STORY RESIDENCE WITH ATTACHED 2 CAR GARAGE

PROPOSED AREAS: LOWER LEVEL CFA:
UPPER LEVEL CFA:
TOTAL CFA: 2,838 SQ. FT.
GARAGE AREA: 473 SQ. FT.
COVERED PORCHES/DECKS: 411 SQ. FT. (INCL. LOWER AND UPPER)

FIRE SPRINKLERS: REQUIRED (DEFERRED)
TRUSSES: (DEFERRED)

NO. OF STORIES: 2
BLDG HEIGHT: 29'-3 1/2"
OCCUPANCY: R-3 W/ U (ATTACHED)
CONST. TYPE: VB
LOT AREA: 6,555 SQ. FT.
ZONING: SINGLE FAMILY RESIDENTIAL

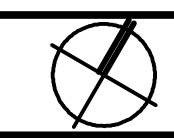
DUARTE CT.
56' R.O.W.

NOTES:
CITY WATER METER AND MAIN WATER LINE TO BE UPGRADED TO 1" SERVICE AS FIRE SPRINKLERS ARE REQUIRED FOR THIS PROJECT.

CONDITION:	EXISTING:	PROPOSED:
GROSS LOT AREA	6,555 SQ. FT.	6,555 SQ. FT.
FRONT SETBACK	20 FT.	20 FT.
REAR SETBACK	38 FT.	25 FT.
SIDE SETBACKS	5'/6'	5'/8'
LOT COVERAGE	1,321 SQ. FT. (20.2%)	2,601 SQ. FT. (39.15%)
OFF STREET PARKING	2 COVERED (GARAGE) 2 UNCOVERED (DRIVEWAY)	2 COVERED (GARAGE) 2 UNCOVERED (DRIVEWAY)
EV PARKING	NONE	1 (IN GARAGE)
OPEN SPACE (FRONT)	1,422 SQ. FT.	1,283 SQ. FT.
OPEN SPACE (REAR)	3,028 SQ. FT.	1,481 SQ. FT.
FRONT YARD PAVING COV.	529 SQ. FT.	511 SQ. FT.
BUILDING HEIGHT	13 FT (APPROX)	29'-3.5"

SITE PLAN ALL WORK DONE WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT.

SCALE: 1"=10'-0"



PROJECT INFO

California at Home
Custom Residential Design & Drafting
PO BOX 1525 OAKDALE CA 95361
(209) 848-DRAW (3129)
email: californiat-home@gmail.com www.calathome.com

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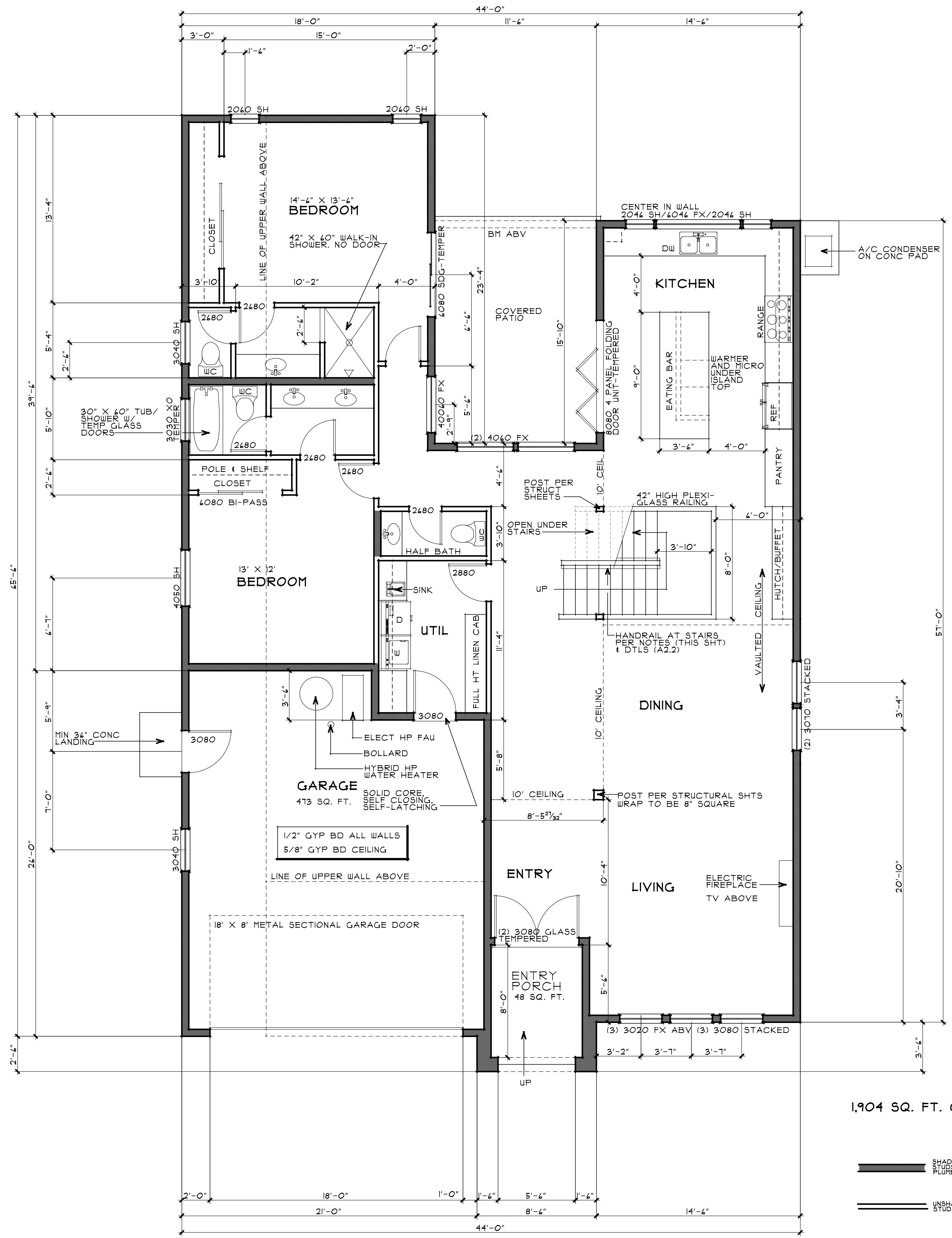
PROPERTY: 287 DUARTE CT.
MILPITAS, CA.
APN: 026-011-019
SANTA CLARA COUNTY

OWNER: NAYDEEP BALI

REVISION
1/23/2024

SITE PLAN
VICINITY
DATA
GEN NOTES

A1.1



1,904 SQ. FT. CONDITIONED

SHADED WALLS ARE 2X4 STUDS (EXTERIOR) AND PLUMBING WALLS AS NOTED
 UNSHADED WALLS ARE 2X4 STUDS (I.R.C.)

ENERGY FEATURES SUMMARY:

- ENVELOPE**
 WALL INSULATION: R-21 IN 2X4 WALLS.
 CEILING: R-19 (CEILING) R-13 (RAFTERS)
 RAISED FLOOR: R-19 (OVER GARAGE)
 COOL ROOF: ASR; 0.21 TE: 0.9
PENETRATION
 WINDOWS: MAX. U-VALUE = 0.29, MAX. SHGC = 0.25
 GLASS DOORS: MAX. U-VALUE = 0.32, MAX. SHGC = 0.21
HVAC
 HEATING SYSTEM MIN. EFFICIENCY: 8.5 HSPF2
 COOLING SYSTEM MIN. EFFICIENCY: 14 SEER2, 12.5 EER2
 DUCT INSULATION: MIN R-8.0 (ATTIC)
 WHOLE HOUSE FAN: MIN. 5,000 CFM
WATER HEATING
 MAX. 55 GAL TANK, HYBRID HEAT PUMP
 NEEA RATED HEAT PUMP
SOLAR PV SYSTEM
 MIN 2.88 kWdc OUTPUT

H.E.R.S. VERIFICATION REQUIRED:

- IAQ-EXHAUST FAN SYSTEMS (110 CFM) (0.25 WATTS/CFM) RECOVERY: 0%
 (Q1) QUALITY INSULATION INSTALLATION
 CONTRACTOR IS RESPONSIBLE TO REVIEW TITLE-24 REQUIREMENTS FOR ALL INCLUDING INSULATED HEADERS, SEALED CONSTRUCTION, ETC.
 WHOLE HOUSE FAN
 KITCHEN RANGE HOOD
 FAN EFFICIENCY: 0.5 WATTS/CFM
 MIN AIRFLOW: 350 CFM
 DUCT LEAKAGE TESTING (5%)
 VERIFIED SEER/SEER2/EER/EER2
 VERIFIED REFRIGERANT CHARGE
 LOW LEAKAGE AIR HANDLER
 VERIFIED HSPF2
 VERIFIED HEAT PUMP RATED CAPACITY

WINDOWS, GLAZING, LIGHT, VENTILATION

- GLAZING IN AREAS SUBJECT TO HUMAN IMPACT INCLUDING BUT NOT LIMITED TO: GLASS DOORS, WINDOWS WITHIN 40" OF TUB OR SHOWER FLOOR, WINDOWS WITHIN 40" OF A STAIR LANDING, FLOOR, WINDOWS WITHIN 24" ARC OF THE VERTICAL EDGE OF A DOOR SHALL HAVE TEMPERED, LAMINATED, OR WIRE GLASS OR SAFETY PLASTIC.
- WINDOWS IN SLEEPING ROOMS, BASEMENTS AND HABITABLE ATTICS SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. SUCH OPENINGS SHALL HAVE A HEIGHT OF MAX. 44" TO BOTTOM OF WINDOW OPENING ABOVE FLOOR OR NET CLEAR OPENING AREA OF AT LEAST 5.7 SQ. FT., A NET CLEAR OPENING HEIGHT OF AT LEAST 24", A NET CLEAR OPENING WIDTH OF AT LEAST 20".
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.
- ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, DOORS, LOWERS OR OTHER APPROVED OPENINGS TO THE OUTDOORS. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE MINIMUM OPERABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED. GLAZED OPENINGS NEED NOT BE OPERABLE WHERE THE OPENING IS NOT REQUIRED PER CRC SEC. R308 AND AN APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM IS INSTALLED OR A WHOLE HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF PROVIDING OUTDOOR VENTILATION AIR OF 8 CFM PER OCCUPANT COMPUTED ON THE BASIS OF 7 OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM.
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 5.7 SQ. FT. WHICH MUST BE OPERABLE. GLAZING IS NOT REQUIRED WHERE ARTIFICIAL LIGHTING AND MECHANICAL VENTILATION ARE PROVIDED. MINIMUM VENTILATION RATES SHALL BE 50 CFM FOR INTERMITTENT VENTILATION AND 25 CFM FOR CONTINUOUS VENTILATION.
- ALL OPERABLE PORTIONS OF WINDOWS SHALL HAVE BUG SCREENS, INCLUDING SLIDING GLASS DOORS, UNLCO.

FIRE SEPARATIONS

- GARAGES AND/OR CARPORTS SHALL BE SEPARATED FROM DWELLING PER CRC TABLE R302.4.
 - FROM RESIDENCE AND AT MIN 1/2" GYP BD TO GARAGE SIDE
 - FROM HABITABLE ROOMS ABOVE 5/8" TYPE "X" GYP BD.
 - STRUCTURE SUPPORT FLOORING ASSEMBLIES USED FOR SEPARATION: MIN 1/2" GYP BD.
- DUCTING IN THE GARAGE AND DUCTING PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE MIN 3/4" GA. SHEET METAL (OR OTHER APPROVED MATERIAL) AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- DOOR BETWEEN GARAGE AND RESIDENCE TO BE FIRE RATED (20 MIN SOLID CORE, SELF-CLOSING, MIN 1 3/8" THICK IN NON-SPRINKLED HOME) IN SPRINKLED HOME, DOOR TO BE SELF-CLOSING AND SELF-LATCHING.
- LANDINGS**
 10. FLOOR LEVELS AND LANDINGS AT DOORWAYS SHALL COMPLY WITH CRC 903.3. THE DIFFERENCE IN ELEVATION BETWEEN THE THRESHOLD AND THE LANDING AT EXTERIOR GRESS DOORS OTHER THAN THE REQUIRED GRESS DOOR SHALL NOT BE MORE THAN 1 3/4". WHERE THE DOOR DOES NOT OPEN OUT OVER THE STEP.
- DOORS & ACCESSORIES**
 1. ALL EXTERIOR AND INTERIOR DOORS SHALL BE STANDARD HEIGHT (47 1/4" UNLCO) SET FRAMES TRIM AND FINISH OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL EFFORT OR KNOWLEDGE.
 2. EXTERIOR SLIDING DOORS SHALL BE EQUIPPED WITH A DEADBOLT KEY OPERATED FROM THE OUTSIDE MANUALLY.
 3. INACTIVE LEAF OF DOUBLE DOORS SHALL HAVE A HARDENED DEADBOLT TOP AND BOTTOM WITH MIN 1/2" EMBEDMENT.
 4. PROVIDE EACH OVERHEAD GARAGE DOOR WITH MOUNTING SUPPORTS, TRACKS, AUTOMATIC ROPE GEAR OR CHAIN DRIVE OPERATION. ONE WALL BUTTON OPERATION SWITCH AT DOOR (GARAGE) TO HOUSE AND TWO REMOTE OPENERS.
 5. PROVIDE ATTIC ACCESS OPENINGS INTO ATTIC AREAS THAT EXCEED 30 SQ. FT. AND HAVE A VERTICAL HEIGHT OF 30" OR GREATER MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE BOTTOM OF THE ROOF FRAMING MEMBERS. THE ROUGH FRAMED OPENING SHALL NOT BE LESS THAN 22" X 30" AND SHALL BE LOCATED AT A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE 50" AT SOME POINT ABOVE THE ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF THE CEILING FRAMING MEMBERS.
- BATHROOMS**
 8. ALL WATER CLOSET (TOILET) COMPARTMENTS TO BE MIN 30" CLEAR WIDTH AND HAVE MIN. 24" CLEAR FROM THE FRONT OF A TOILET.
 11. SHOWER TO HAVE MIN 1024 SQ. IN. AND BE CAPABLE OF ENCOMPASSING A 30" CIRCLE.
 12. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.
 FIBER-CEMENT, FIBER-GLASS REINFORCED CEMENT, GLASS-MAT GYPSUM BACKERS AND FIBER REINFORCED GYPSUM BACKERS SHALL BE USED AS BACKERS FOR WALLS IN TUB AND SHOWER AREAS AND BATH PANELS IN SHOWER AREAS.
 13. U.R.G.B. SHALL NOT BE USED ON CEILINGS WHERE FRAMING MEMBERS ARE SPACED MORE THAN 12" O.C.

FIRE BLOCKING/DRAFT STOPS

- FIRE BLOCKS AND DRAFT STOPS SHALL BE INSTALLED PER CRC R302.1 & R302.2
 FIRE BLOCKING SHALL BE PROVIDED IN FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10 FT. INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS COCKS AT SOFFITS, DROP CEILING AND COVE CEILING.
 - IN CONCEALED SPACES BETWEEN STAR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN USE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE FINISHED.
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NON-COMBUSTIBLE MATERIAL.
 - OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY BUILT FIREPLACES.
 2. GAS VENTS AND NON-COMBUSTIBLE PIPING PASSING THROUGH 3 FLOORS OR LESS SHALL BE EFFECTIVELY DRAFT STOPPED AT EACH FLOOR OR CEILING.

MISCELLANEOUS

- CEILING HEIGHTS SHALL COMPLY WITH CRC SEC. R305
- ALL HALLWAYS TO BE MIN. 34" WIDE (CLEAR FINISH TO FINISH)
- HEIGHT TO COMBUSTIBLE MATERIAL ABOVE KITCHEN RANGES TO BE MIN. 30" WHEN UNPROTECTED, 24" WHEN PROTECTED.
- PROVIDE GYPSUM WALLBOARD WITH TEXTURE (VERY TEXTURE WITH OTHER OVER FRAMING MEMBERS USE 1/2" GYP. BD. OVER 1" SPACED MEMBERS AND 5/8" GYP. BD. OVER 24" SPACED MEMBERS.
- FLOOR AND WALL FINISHES OF CLOSETS SHALL MATCH THAT OF ADJACENT ROOM UNLCO.
- ALL TRIM WORK SHALL BE ATTACHED WITH FINISH NAILS (CALVANEED AT EXTERIOR); SET 1/8" TO RECEIVE FILLER. PRE-DRILL WHERE NECESSARY TO AVOID SPLITTING.
- ALL SCRIBING, MITERING AND JOINTING SHALL BE PERFORMED ACCURATELY AND NEATLY TO PRODUCE TIGHT, LEVEL, AND EVEN JOINTS. INSTALL ALL WORK STRAIGHT, TRUE, LEVEL AND WITHOUT BOIL SAG, SPLITS, TOOL MARKS OR OTHER DEFECTS.
- FOR VENT COVER WOOD SUB-FLOOR, PROVIDE 3/8" PARTICLE BOARD UNDERLAYMENT.
- ALL FLOOR AREAS TO RECEIVE CARPET AND PAD OR RESILIENT FLOORING (VINYL) SHALL BE LEFT CLEAN, DRY, AND DUST FREE.

AGE IN PLACE REQUIREMENTS

- PER CRC SEC. 901.1-901.4, AT LEAST ONE BATHROOM ON THE MAIN LEVEL OF ANY NEWLY CONSTRUCTED DWELLING UNIT SHALL COMPLY WITH THE FOLLOWING:
- GRAB BAR REINFORCEMENT:
 1. REINFORCEMENT SHALL BE SOLID LUMBER NOT LESS THAN 2X4.
 2. REINFORCEMENTS SHALL BE LOCATED BETWEEN 32" & 1 1/2" ABOVE FINISH FLOOR.
 3. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BACK WALL.
 4. BATH CLOSET REINFORCEMENT SHALL BE CONTINUOUS WHERE FRAMING IS PROVIDED.
 5. BATH AND CORRIDOR TUB-SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH SIDE AND EACH END OF THE BATHTUB AND THE SHOWER. REINFORCEMENT SHALL BE INSTALLED ON EACH SIDE AND PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 4" ABOVE FINISH FLOOR.
 6. REINFORCEMENT SHALL NOT BE REQUIRED IN WALL FRAMING FOR PRECAST CONCRETE SHOWERS ENCLOSURES AND OTHER WALL PANELS WITH METEAL FACTORY INSTALLED GRAB BARS OR WITH FACTORY INSTALLED REINFORCEMENT FOR GRAB BARS IS PROVIDED.
- BEDROOM ACCESS:
 AT LEAST ONE BEDROOM ON THE ENTRY LEVEL SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 32" WITH THE DOOR POSITIONED AT A 40 DEGREE ANGLE FROM THE CLOSED POSITION OR, IN THE CASE OF A WALL-FRONT DWELLING UNIT, ONE BEDROOM OR BATHROOM ON THE LOWER LEVEL, ONE BEDROOM AND ONE BATHROOM ON AN UPPER LEVEL SHALL COMPLY WITH THESE REQUIREMENTS.

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 411 SQ. FT.

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 APN: 024-017-019
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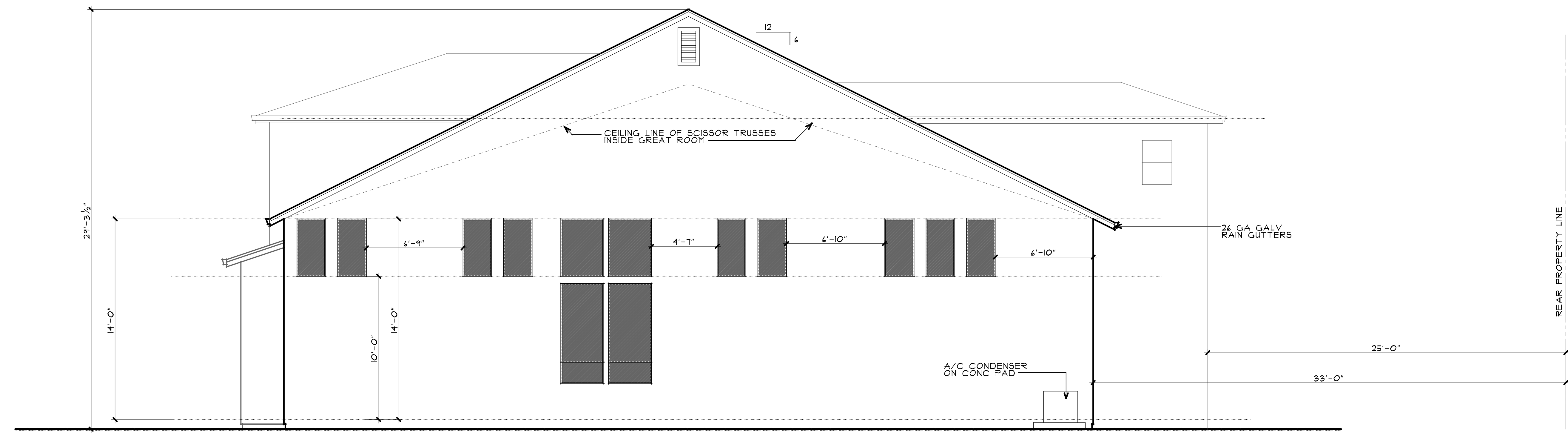
OWNER:
 NAYDEEP BALI

REVISION
 1/23/2024
 LOWER FLOOR PLAN

SCALE: 1/4"=1'-0"
A2.1



FRONT ELEV



RIGHT SIDE ELEVATION

EXTERIOR ELEVATION REQUIREMENTS
FLASHING/COUNTER FLASHING
 PROVIDE FLASHING AND COUNTER FLASHING PER CRC R903.2 AT CHIMNEYS, PARAPETS, BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, ROOF TO WALL INTERSECTIONS, AND ANY OTHER VERTICAL TO HORIZONTAL INTERSECTIONS TO PROVIDE A WEATHER AND WATER TIGHT JOBS FLASHING AND COUNTER FLASHING TO MIN. 24 GA. GALV. METAL PAINT TO MATCH ADJACENT MATERIALS (EG. AT ROOF PENETRATIONS, LOUVERS, ETC.).

EXTERIOR PLASTER/STUCCO
 LATH AND PLASTER (STUCCO) TO COMPLY WITH CRC CHAPTER 1 AND SHALL CONSIST OF A BASE (SCRATCH) COAT, FINISH (BROWN) COAT AND COLOR COAT. PROVIDE GALV. EXTERIOR CORNER BEADS AND INTERIOR CORNER REINFORCING.
 PROVIDE 8# FELT OR 2 LAYERS GRADE 'D' PAPER AS WATER PROOF BARRIER UNDER ALL STUCCO APPLICATIONS.
 A WEEP SCREED SHALL BE INSTALLED AT THE BASE OF ALL STUCCO WALLS TO ALLOW TRAPPED MOISTURE TO ESCAPE. SCREED SHALL BE MIN. 24 GA. GALV. METAL WITH 3 1/2" MOUNTING FLANGE. SCREED SHALL MIN. 4" ABOVE EARTH AND MIN. 2" ABOVE PAVING.

ROOFS
 ROOF COVERING MATERIALS AND APPLICATIONS SHALL CONFORM TO CRC CHAPTER 1.
 ROOFING NAILS MUST PENETRATE THROUGH THE ROOF SHEATHING THE DISTANCE REQUIRED BY THE MANUFACTURER, BUT IN NO CASE LESS THAN 1/8".
 GUTTERS AND DOWN SPOUTS TO BE INSTALLED ON THE EAVES OF ALL ROOF AREAS AS REQUIRED BY THE JURISDICTION.

MISCELLANEOUS
 SPARK ARRESTER WITH MIN. 1/2" WIRE MESH TO BE INSTALLED ON ALL CHIMNEYS OF WOOD BURNING FIREPLACES.
 EXTERIOR FINISHES AND COLORS TO BE VERIFIED WITH THE OWNER PRIOR TO APPLICATION, WHETHER SPECIFIED ON THE PLANS OR NOT.
 ADDRESS NUMBERS, MIN. 4" TALL, SHALL BE POSTED ON THE BUILDING FACILITY VISIBLE FROM THE STREET FRONTING THE PROPERTY BE MIN. 1/2" WIDE STROKE AND SHALL CONTRAST WITH THEIR BACKGROUND PER CRC301.

ATTIC VENTILATION
 VENTILATION CALCULATIONS ARE PROVIDED TO DETERMINE THE TOTAL REQUIRED VENT AREA TO MEET CODES. THESE PLANS DO NOT SPECIFY THE EXACT NUMBER, TYPE, SIZE OF EACH VENT DUE TO THE WIDE VARIETY OF VENT OPTIONS AVAILABLE TO THE BUILDER, AS WELL AS THE VARIATIONS BETWEEN THE NUMEROUS MANUFACTURERS. CONTRACTOR TO REFER TO MANUFACTURER'S SPECIFICATIONS TO DETERMINE ACTUAL FREE AIR AREA OF ALL SELECTED VENT PRODUCTS.

MAIN UPPER ROOF AREAS:
 202 SQ. FT. / 300 X 144 = 1004 SQ. IN. REQUIRED VENT AREA

LOWER ROOF OVER SINGLE LEVEL:
 393 SQ. FT. / 300 X 144 = 881 SQ. IN. REQUIRED VENT AREA

NOTE: REQUIRED VENT AREA SHALL BE 1/50 IF ONE OF THE FOLLOWING CRITERIA ARE NOT MET:
 AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENT AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AND NO MORE THAN 3 FT. BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR GORGE VENTS.

OR
 A CLASS I OR I VAPOR BARRIER IS INSTALLED ON THE WARM-INTERIOR SIDE OF THE CEILING (CLIMATE ZONES 1 & 2).
 WHERE EAVE OR GORGE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF 1 INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT.

THESE CALCULATIONS SPECIFY THE MIN. AMOUNT OF "FREE AIR" AREA TO BE PROVIDED AND THE STANDARDS FOR LOCATION OF VENTING. THE CONTRACTOR SHALL SELECT APPROPRIATE VENTING PRODUCTS TO MEET OR EXCEED THE AMOUNTS SHOWN. VENT MANUFACTURER'S PRODUCTS WILL VARY AND THEREFORE THESE PLANS DO NOT SPECIFY THE EXACT NUMBER AND TYPE OF VENTS AS THIS CAN VARY WITH MFGRS.

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EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"
A3.1

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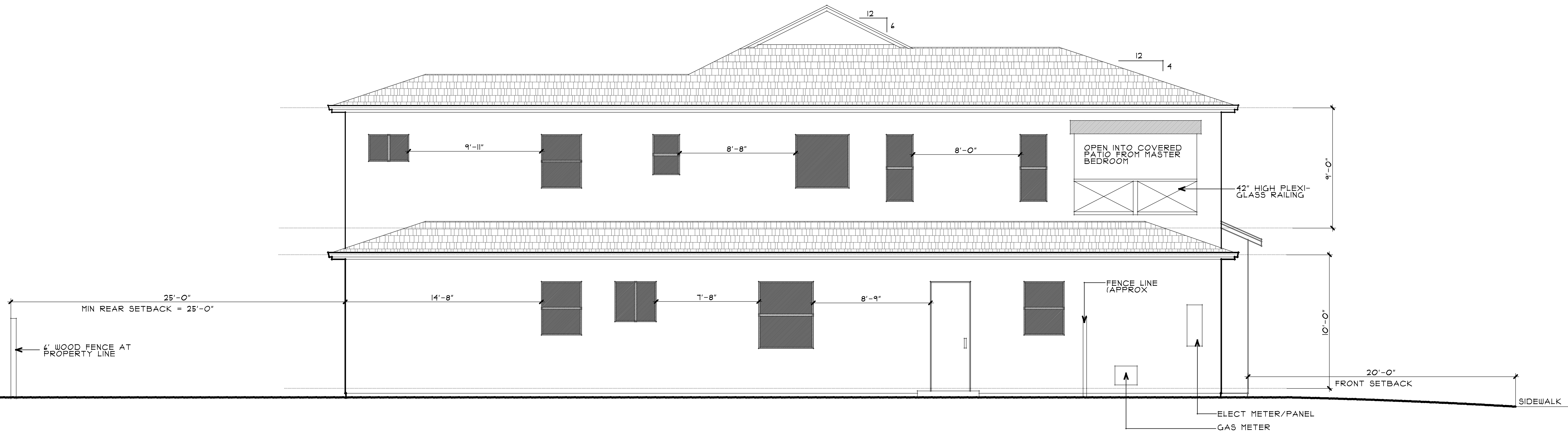
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 1/23/2024

EXTERIOR ELEVATIONS

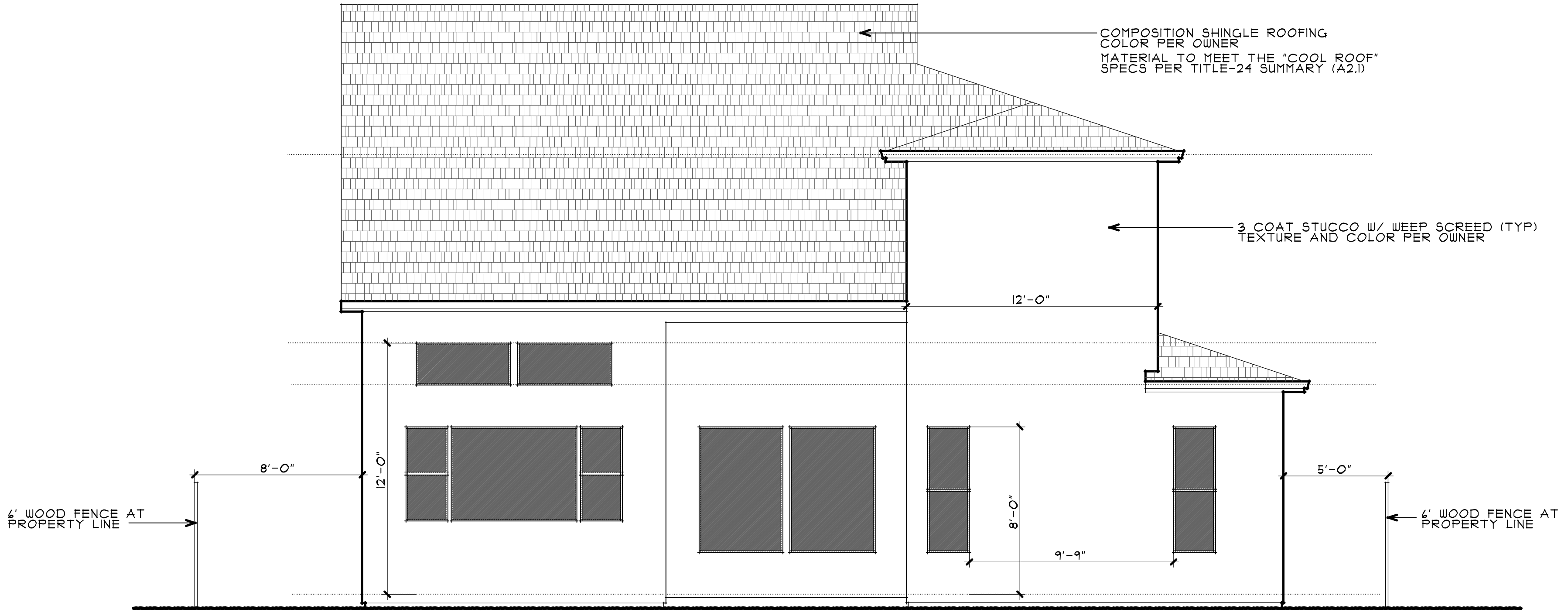
SCALE: 1/4"=1'-0"

A3.2

ALL GENERAL ELEVATION NOTES FROM SHEET A3.1 SHALL APPLY TO THIS SHEET AS WELL



LEFT SIDE ELEVATION



REAR ELEVATION

**NAVDEEP BALI
287 DUARTE COURT
MILPITAS,CA
2094996410
01/08/2026**

City of Milpitas – Planning Department
455 E. Calaveras Blvd.
Milpitas, CA 95035

Dear Planning Department Staff,

I am writing to go give information regarding a proposed project at **287 DUARTE COURT**, located within the City of Milpitas.

This memo is for cutting 3 trees and planting 6 new trees.

Tree size we will be planting will be 24” Box

10’ to 14’ height

Trunk 6” above ground

Caliper size 1.5” to 2.5”

Minimum diameter 20”

Tree type we will be using will be

CRAPE MYRTLE

CHINESE PISTACHE

WESTERN REDBUD

Reason of removal is that we are building a new home and these tress are too old and big.

Thank you for your time and assistance. I look forward to your guidance.

Sincerely,

Navdeep Bali

Valley Home Sales

Planning Department

408-586-3279 | 455 E. Calaveras Blvd., Milpitas, CA 95035
www.milpitas.gov | planningdepartment@milpitas.gov



APPLICATION FORM PROPERTY INFORMATION

STAFF USE ONLY

Site address/es:	287 DUARTE COURT MILPITAS, CA 95035	Application Submittal Date:
		Paid Date:
APN(s): Assessor's parcel number/s:	026-17-019	Intake Planner:
		Permit Number(s):

PROJECT DESCRIPTION: Please provide a narrative project description that summarizes the project.

REMOVING 3 TREES FROM FRONT AND PLANTING 6 TREES

APPLICATION REQUEST:

Project Details - Check the box of what actions are required (check all that apply)

<input type="checkbox"/> Minor Site Development Permits (MS)	<input type="checkbox"/> Density Bonus (DB)
<input type="checkbox"/> Site Development Permits (SD)	<input checked="" type="checkbox"/> Tree Removal (TR)
<input type="checkbox"/> Conditional Use Permits (UP)	<input type="checkbox"/> Variance (VA)
<input type="checkbox"/> Minor Conditional Use Permits (MCUP)	<input type="checkbox"/> Minor Deviation (DEV)
<input type="checkbox"/> Temporary Use Permit (TUP)	<input type="checkbox"/> Time Extension (TE)
<input type="checkbox"/> Major Sign Permit (MJSP)	<input type="checkbox"/> Lot Line Adjustment-Subdivision/Lot Combination
<input type="checkbox"/> Minor Sign Permit (MNSP)	<input type="checkbox"/> Tentative Map (TM)
<input type="checkbox"/> Sign Program (SPM)	<input type="checkbox"/> Reasonable Accommodation (RA)
<input type="checkbox"/> General Plan/Specific Plan/Zoning Amendments	<input type="checkbox"/> Other

Please complete this Project Application and all the required documents identified within the checklist (page #5). We accept digital submissions by emailing all materials to planningdepartment@milpitas.gov. Alternatively, you can visit us at the Permit Center on the 1st floor of Milpitas City Hall at 455 East Calaveras Boulevard, Milpitas, CA 95035.

CONTACT INFORMATION

PROPERTY OWNER(S) INFORMATION AND SIGNATURE(S)

I (we) declare, under penalty of perjury, that in securing this permit, I am (we are) the owner of this property(ies) and that the statements herein and all information herewith submitted are, to the best of my (our) knowledge and belief, true and correct.

Legal Property Owner Name: VALLEY HOMES SALES Phone No.: 2094996410

Company (if applicable): _____ Email Address: NBALI1960@GMAIL.COM

Mailing Address: 3816 RUISDAEL DR, MODESTO, CA 95356


Signature of Property Owner

Date 1/12/20

APPLICANT & PRIMARY CONTACT:

Applicant Name: NICK BALI Phone No.: 2094996410

Company (if applicable): _____ Email Address: NBALI1960@GMAIL.COM

Address: 3816 RUISDAEL DR, MODESTO, CA 95356


Signature of Applicant

Date 1/12/20

ARCHITECT INFORMATION, CONSENT, AND SIGNATURE

I **CONSENT**, or I **DO NOT CONSENT** to allow the City of Milpitas to post online, in whole or in part, the architectural drawings and plans submitted for this project, including information protected by copyright laws, on the official City of Milpitas website (City website) as an indefinite online record for the project, including public hearings and meetings. If I do not consent, then only those architectural sheets and materials permitted under Senate Bill 1214 (e.g., site plan and massing diagram) will be posted on the City website. I am the design professional or copyright owner authorized to provide this consent.

Select one: I CONSENT or I DO NOT CONSENT

Architect/Copyright Owner Name: _____ Phone No.: _____

Company (if applicable): _____ Email Address: _____

Address: _____

Signature of Architect/Copyright Owner

Date

INDEMNIFICATION AGREEMENT

For good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Applicant hereby expressly agrees in connection with the processing of Applicants Project application(s) to each of the following terms and conditions:

1. Applicant agrees, as part of and in connection with each and any of the application(s), to defend, indemnify, and hold harmless the City of Milpitas ("City") and its officers, contractors, consultants, attorneys, employees and agents from any and all claims(s), action(s), or proceeding(s) (collectively referred to as "proceeding") brought against City or its officers, contractors consultants, attorneys, employees, or agents to challenge, attack, set aside, void, or annul:
 - a. Any approvals issued in connection with any of the above-described application(s) by City; and/or
 - b. Any action taken to provide related environmental clearance under the California Environmental Quality Act of 1970, as amended ("CEQA") by City's advisory agencies, boards, or commissions; appeals boards or commissions; Planning Commission, or Council.

Applicant's indemnification is intended to include, but not limited to, damages, fees and/or costs awarded against or incurred by City, if any, and costs of suit, claim or litigation, including without limitation attorneys' fees and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by Applicant, City, and/or parties initiating or involved in such proceeding.

2. Applicant agrees to indemnify City for all of City's costs, fees, and damages incurred in enforcing the indemnification provisions of this Agreement.
3. Applicant agrees to defend, indemnify and hold harmless City, its officers, contractors, consultants, attorneys, employees and agents from and for all costs and fees incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending, any document (such as an environmental impact report, negative declaration, specific plan, or general plan amendment) if made necessary by said proceeding and if Applicant desires to pursue such City approvals and/or clearances, after initiation of the proceeding and that are conditioned on the approval of these documents.
4. In the event that Applicant is required to defend City in connection with such proceeding, City shall have and retain the right to approve:
 - a. The counsel to so defend City; and
 - b. All significant decisions concerning the manner in which the defense is conducted; and
 - c. Any and all settlements, which approval shall not be unreasonably withheld.

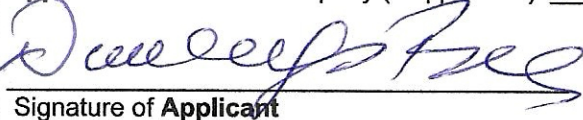
City shall also have and retain the right to not participate in the defense, except the City agrees to reasonably cooperate with Applicant in the defense of the proceeding. If City chooses to have counsel of its own to defend any proceeding where Applicant has already retained counsel to defend City in such matters, the fees and expenses of the additional counsel selected by City shall be paid by City. Notwithstanding the immediately preceding sentence, if City's Attorney's Office participates in the defense, all City Attorney fees and costs shall be paid by Applicant.

5. Applicant's defense and indemnification of City set forth herein shall remain in full force and effect throughout all stages of litigation including any and all appeals of any lower court judgments rendered in the proceeding.

After review and consideration of all of the forgoing terms and conditions, Applicant, by its signature below, hereby agrees to be bound by and fully and timely comply with all of the foregoing terms and condition.

APPLICANT & PRIMARY CONTACT:

Applicant Name: For Company (if applicable): NAUDEER BALI


Signature of Applicant

1/2/26
Date

Hazardous Waste and Substances Statement

Pursuant to California Government Code Section 65962.5 (AB 3750 – Cortese), Government Code Section 65962.5 requires that "before a lead agency accepts as complete an application for any development ...the applicant shall consult the [Cortese] list and shall submit a signed statement...indicating whether the project and any alternative are located on a site that is included on [the list]." This form is provided for that purpose.

I have consulted the current Hazardous Waste and Substances Sites List, consolidated by the California Environmental Protection Agency pursuant to Government Code Section 65962.5 at https://www.envirostor.dtsc.ca.gov/public/map/?global_id=60002853 regarding the development project application herewith submitted. Visit this website and enter all addresses associated with the project to confirm the selection option below.

Based on my consultation, the location of the project, shown below, IS IS NOT on a site that is included on the linked most recent Hazardous Waste and Substances Sites List.

I declare under penalty of perjury that the foregoing is true.



Signature of **Applicant**

1/12/20

Date

Consultant List

Have consultants been identified to assist with this project? Yes No

Consultants include but are not limited to, architects, designers, contractors, landscape architects, engineers, planners, real estate agents, and environmental consultants. This form must be filled out completely. It enables City Council, Planning Commission, and staff members to avoid potential conflicts of interest, which could otherwise invalidate your project's approval.

Name: _____ Capacity: _____
Company: _____ Phone No.: _____
Address: _____ Email: _____
Milpitas Business Tax ID# _____

Name: _____ Capacity: _____
Company: _____ Phone No.: _____
Address: _____ Email: _____
Milpitas Business Tax ID# _____

Name: _____ Capacity: _____
Company: _____ Phone No.: _____
Address: _____ Email: _____
Milpitas Business Tax ID# _____

City of Milpitas Municipal Code Title III requires everyone, including consultants, who render services in or from the City of Milpitas to have a valid business tax/license. Don't hesitate to contact the Business Resource Center at 408-586-3100 for instructions on obtaining a Milpitas Business Tax ID number.

ARCHITECT(S) OR OTHER COPYRIGHT OWNER(S) INFORMATION, CONSENT, AND SIGNATURE

I **CONSENT** and **AWKNOWLEDGE** that while generally architectural plans and drawings, if protected by applicable law (e.g., 17 U.S.C. § 106), may be inspected but not copied without the copyright holder's consent, materials presented to the decisionmakers of public bodies are public records (e.g. Cal. Gov. Code, §§ 7920.530(a), 54957.5), and may be copied, distributed, and disclosed by the City of Milpitas as needed during review of this application or as required in compliance with the California Public Records Act (Cal. Gov. Code, §§ 7920.000 et seq.), the Ralph M. Brown Act (Cal. Gov. Code, §§ 54950 et seq.), and/or related sunshine laws, including the Milpitas Open Government Ordinance (MMC §§ 1-310-1.10 et seq.). **THIS ACKNOWLEDGEMENT AND CONSENT APPLY WHETHER OR NOT THE FURTHER CONSENT BELOW FOR ONLINE POSTING IS PROVIDED.**

[SELECT ONE] I **CONSENT**, or I **DO NOT CONSENT**, to allow the City of Milpitas to post online, including on the City of Milpitas website, in copyable form, the architectural drawings and plans submitted for this project, including information protected by copyright laws, as an indefinite online record for the project and not just during public hearings and meetings. If I do not consent, then at the time of submitting architectural plans or drawings, or any amendment or revision thereto, I must submit to the Milpitas Planning Department a current site plan and/or massing diagram, which may be copied and publicly distributed online, or I shall be deemed to have consented to the online posting in copyable form any architectural drawings and plans submitted for this project in conformity with California Government Code section 65103.5(e). **IF NO BOX IS CHECKED, CONSENT IS DEEMED GIVEN.**

By signing below, I represent that I am the design professional or otherwise the copyright owner for all architectural drawings and plans submitted for this project, I am fully authorized to provide this consent without further consent or authorization from, or payment to, any other party, and in the event further consent is needed or requested in the future related to the architectural drawings and plans submitted for this project, including in relation to requests by the public for copies, such requests may be made by sending correspondence or communications to the contact information I am providing below.

Architect/Copyright Owner Name: _____
Phone No.: _____
Company (if applicable): _____
Email Address: _____
Address: _____

Signature of **Architect/Copyright Owner**

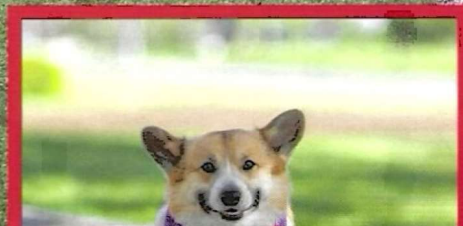
Date




NOTICE TO THE PUBLIC: Where consent to online posting is not given above, and a copy of this consent form is consequently included in the meeting agenda packets in-lieu of the protected architectural plans or drawings submitted to the relevant decisionmaker(s), members of the public may contact the Milpitas Planning Department to inspect these architectural plans or drawings and/or may contact the architect/copyright holder whose information appears above to request a copy.




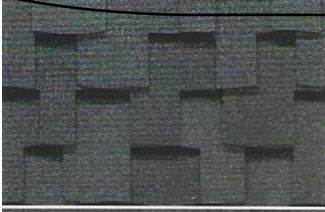



California Cool[®] Shingles

Reference Guide



Z[®]	Initial Reflectivity	Initial Emissivity	Aged Reflectivity	Aged SRI	CRRC Product ID#
	0.20	0.92	0.23	24	0676-0096
	0.17	0.92	0.18	17	0676-0097
	0.20	0.92	0.22	21	0676-0098

a[®] RS

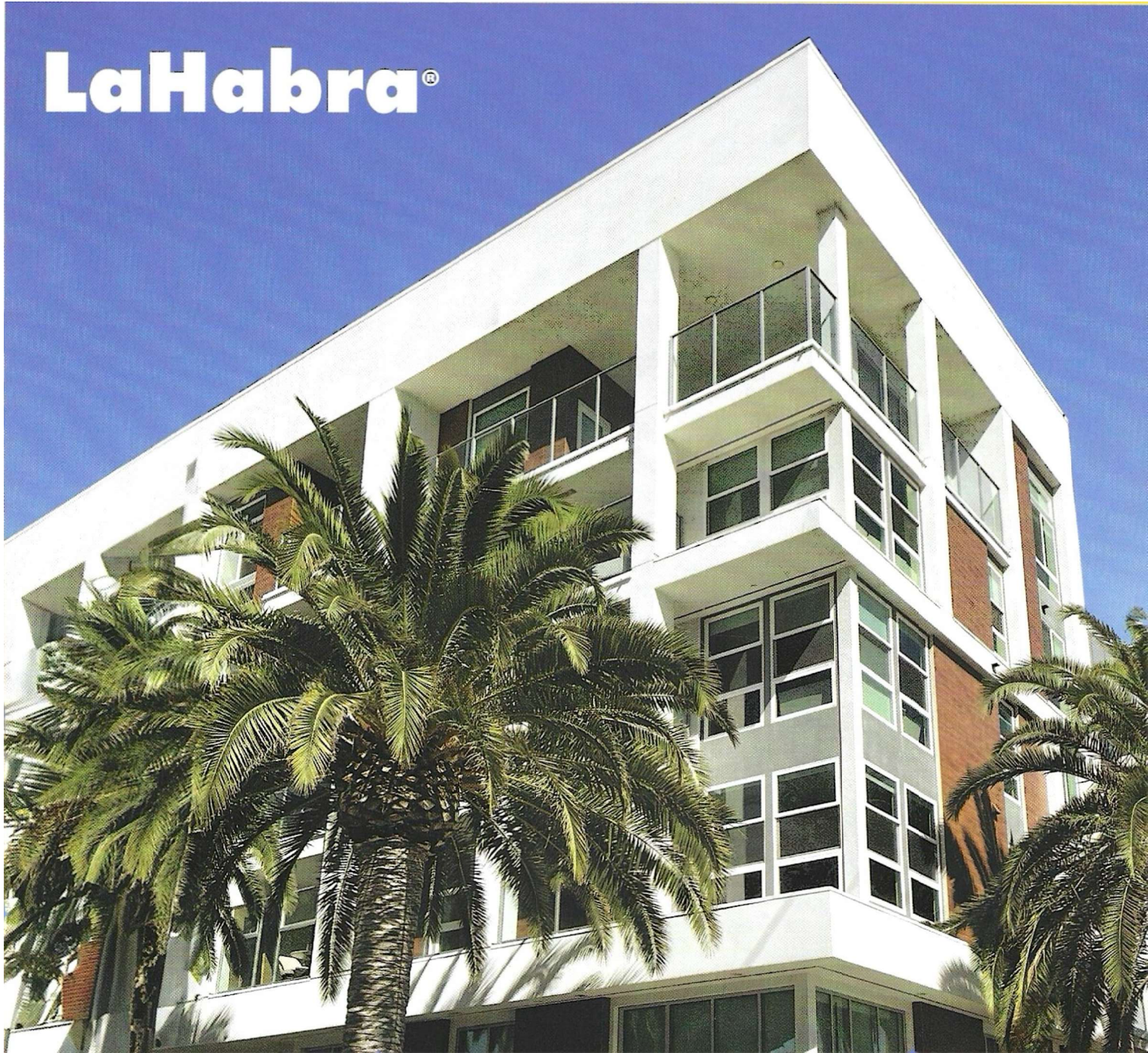
	0.21	0.92	0.21 *	21 *	0676-0143b
	0.22	0.92	0.22 *	21 *	0676-0142a
	0.22	0.92	0.21 *	21 *	0676-0139b
	0.22	0.92	0.21 *	21 *	0676-0141b
	0.22	0.92	0.21 *	21 *	0676-0140b

* Solar Reflective Index (SRI) Calculation Worksheet.

See the color clarity and actual color blends of these products. Before selecting your color.



LaHabra®





X-23 ASPEN
Base 200



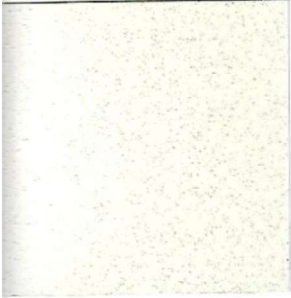
X-24 SANTA FE
Base 200



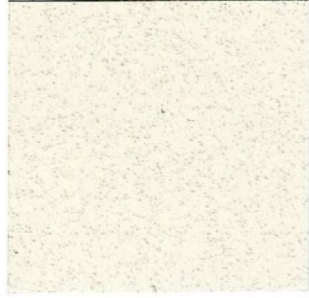
X-25 SADDLEBACK
Base 200



X-28 MIRAGE
Base 200



X-53 PURE IVORY
Base 100



X-55 FRENCH VANILLA
Base 100



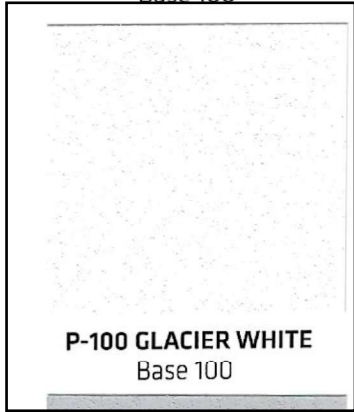
X-71 MIAMI PEACH
Base 100



X-72 ADOBE
Base 200



X-97 PACIFIC SAND
Base 200



P-100 GLACIER WHITE
Base 100



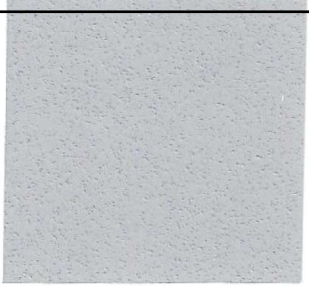
P-105 OAT GRAIN
Base 200



P-174 DESERT BEIGE
Base 200



X-475 VIEJO
Base 200



X-504 BLUE GREY
Base 200



P-505 AGATE
Base 200



X-524 ALAMO
Base 200



X-830 CLAY
Base 200



P-1210 MOROCCAN SAND
Base 200



P-1661 TITANIUM
Base 200



P-2090 THUNDER SKY
Base 200



P.O. Box 1525
Oakdale, CA 95361
209.848.3729 TEL
209.848.DRAW
californiaathome@gmail.com

Statement of neighborhood compatibility/outreach for:

New residence at 287 Duarte Ct., Milpitas, CA.

Owner/applicant: Navdeep (Nick) Bali

In looking at the surrounding neighborhood for 2-3 blocks in all directions, what you will find is that virtually all of the existing homes are 1970s-1980s structures with no definitive style. Some would refer to them as “bungalows,” but as with many tract homes in California, this is a generic term which may not fully apply to true architectural theory.

A majority have stucco exteriors and composition shingle roofing with a small percentage using some form of siding (wood or vinyl) and a few using tile roofing materials. Most roofs are of lower pitches in the range of 3:12 to 5:12.

The home that Mr. Bali is proposing is a definite upgrade to the neighborhood. We are matching the materials (stucco and composition shingle roofing) to blend with the existing homes. We are mixing the roof pitches with the roof areas that slope side to side (and their related front sloping hips) being at 4:12 pitch while the larger roof area that slopes front to rear is at 6:12 pitch. This is to allow for the headroom on the inside at the central stairway as it intersects the ceiling of the upper floor.

We are proposing plexiglass railings for the upper floor front balcony off the master bedroom in order to give the new home a slightly more modern feel but keeping most trim elements simple to blend with the surrounding neighborhood (stucco over foam trim elements).

We are providing the covered front entry projection as described in the city’s design standards for single family dwellings. This will also provide definition to the main entrance. Also

The floor plan is an open concept downstairs with the living, dining and kitchen together in one space with a high vaulted interior ceiling and high windows on the east wall to allow in plenty of natural light. The stairway is located within this space and divides the kitchen from the rest of the space without walls (again, plexiglass railings) to maintain the open feeling inside.

We feel that this new residence will be a significant upgrade to the aesthetics of the neighborhood without standing out to a point of being “in your face” if you will.

Single Family Development Standards: (Table 3)

1. Limits on blank walls: All wall segments in continuous planes include windows, projections or offsets.
2. Entrance Orientation: The front entry door faces the street.
3. Entrance projection: The entry door is recessed by 8’ from the front setback and the covered area projects the required 3.5’ beyond the front wall of the building.
4. Privacy: The upper floor west exterior wall is set back 6’ from the lower wall to provide separation from the neighboring property. The home directly to the west of this property is a 2 story structure, however, the eastern portion of this structure is single story so there will be no visibility from one structure to another at the upper level. Upper levels are separated by approx. 35’
5. Street Facing Façade: All street facing walls/elements are designed to meet this standard.
6. Building Materials: Materials, as previously described, meet this standard.

Neighborhood Outreach:

The owner will submit separate documentation of neighborhood outreach.

Regards,



Scott Hicks

California at Home

Oakdale, CA.

2090-848-3729

californiaathome@gmail.com

NAVDEEP BALI
287 DUARTE COURT
MILPITAS, CA
2094996410
01/08/2026

City of Milpitas – Planning Department
455 E. Calaveras Blvd.
Milpitas, CA 95035

Dear Planning Department Staff,

I am writing to go give information regarding a proposed project at **287 DUARTE COURT**, located within the City of Milpitas.

I talked to the neighbors located at 299 Duarte Ct which is on the right side, and 273 Duarte Ct that follows on the left side. I explained to them that we are going to be building a new two story home, 2835 square feet, with stucco exterior with a roof that will be comp shingles. They both were happy that you're improving the neighborhood by building a nice home. .

Thank you for your time and assistance. I look forward to your guidance.

Sincerely,


Navdeep Bali

Valley Home Sales